

PCT.2

#15,681

STOVALL & ASSOCIATES, An MTG Company

www.mtgengineers.com

August 1, 2019

CIVIL • ENVIRONMENTAL • SURVEYING

Physical Address:
6417 Wesley Street
Greenville, Texas 75401
903.838.8533 - telephone
903.832.4700 - facsimile

Mailing Address:
MTG Engineers & Surveyors, Inc.
Corporate Office
5930 Summerhill Road
Texarkana, Texas 75503

Perry Bowen
Hickman Consulting Engineers, INC
230 Myers Road
Heath, Texas 75032

Re: *Whispering Winds Plan and Final Plat Review*

Dear Mr. Hickman

We have reviewed the Final Plat and Construction Plans for Whispering Winds prepared by Hickman Consulting Engineers, INC, respectively, which were submitted electronically on Submittal July 23, 2019 by Hickman Consulting.

Our review of the Final Plat and Construction Plans is for general compliance with the Hunt County Subdivision Regulations (HCSR) development requirements and good engineering practice, and does not relieve the engineer of record of his responsibilities under the Texas Engineering Practice Act. Our comments regarding the enclosed plans are listed below.

Final Plat

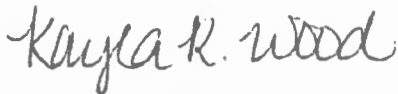
We have no additional comments. The Final plat meets the general compliance requirements of HCSR.

Construction Plans

We have no additional comments. The construction plans meet the general compliance requirements of HCSR.

We recommend that once the required items are submitted to Hunt County, this Final Plat be placed on the Commissioners Court agenda for acceptance. Please submit the engineer's estimate of probable costs for our review so we can establish the amount of the construction bond. Feel free to contact us with any questions.

Sincerely,



Kayla Wood, P.E.

FILED FOR RECORD
at 10:30 o'clock 22 M

AUG 12 2019

JENNIFER LINDENZWEIG
County Clerk, Hunt County, TX
By: *Jennifer Lindenzweig*

SSNS REALTY, INC.
52.286 ACRES
DOC. # 2019-00992
D.R.H.C.T.

HECTOR ALVIZU
& EDGAR E. NAVARRO
VOL. 1566, PG. 19
D.R.H.C.T.

BRANDLEY G. PREGSON
DOC. # 2011-2784
D.R.H.C.T.

LANE CROXTON
TRACT ONE
7.30 ACRES
VOL. D.R.H.C.T. #45

JIMMY & PATRICIA BLUNT
VOL. 953, PG. 844
D.R.H.C.T.

JIMMY BLUNT
VOL. 954, PG. 821
D.R.H.C.T.

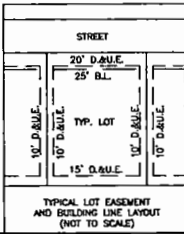
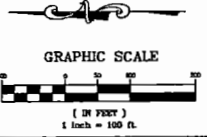
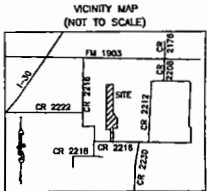
S00°26'16"E 2144.22'

EVERGREEN LANE (60' R.O.W.)

N00°04'44"E 2092.14'

N89°33'44"E 509.66'

N00°04'44"E 1968.96'



LEGEND	
D.E.	- DRAINAGE EASEMENT
D.&U.E.	- DRAINAGE & UTILITY EASEMENT
B.L.	- BUILDING LINE
LP.F.	- IRON PIN FOUND
R.C.I.P.F.	- 1/2" IRON PIN FOUND WITH RED CAP STAMPED "OWENS RPLS 5387"
D.R.H.C.T.	- DEED RECORDS, HUNT COUNTY, TEXAS
P.R.H.C.T.	- PLAT RECORDS, HUNT COUNTY, TEXAS
OSSF	- ON SITE SEWAGE FACILITY ZONE

OWNER:
PAMELA BOWEN STANLEY
30 W. 96TH ST #1A
NEW YORK, NY 10025

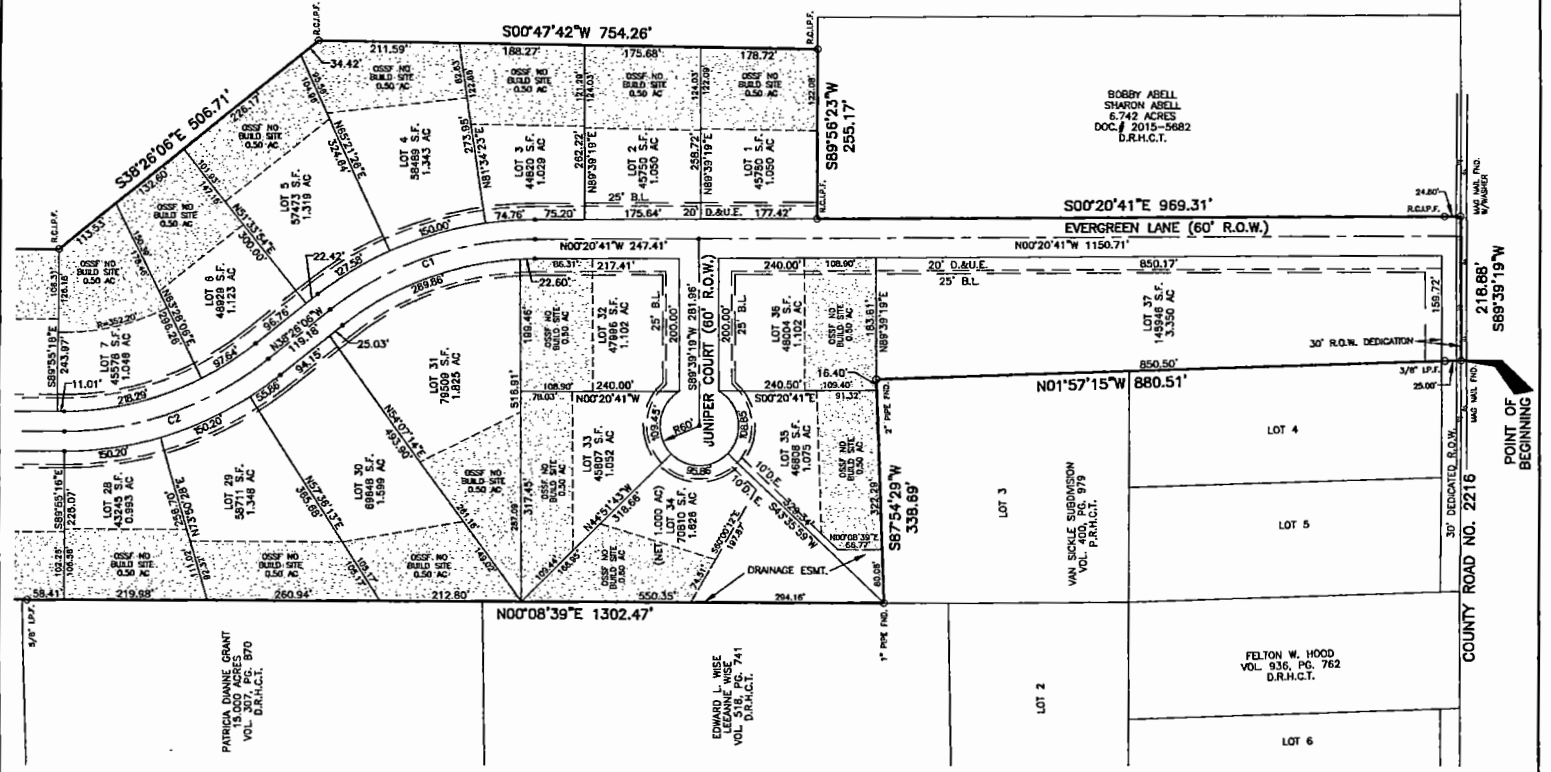
FINAL PLAT
WHISPERING WINDS
52.286 ACRES OF LAND
A. LAWSON SURVEY, ABSTRACT NO. 611
HUNT COUNTY, TEXAS

CARROLL CONSULTING GROUP, INC. P.O. BOX 11, LAYTON, TEXAS 75165 (972) 742-4411 TEXAS FIRM REGISTRATION NO.: 10007200			
JOB No.	SCALE:	DATE	DRAWN BY:
2485-18	1"=100'	MARCH 4, 2019	CP

PAGE 1 OF 3

Curve Table				
Curve #	Length	Radius	Delta	CHORD
C1	332.40	500.00'	38°05'25"	N19°23'23"W, 326.31'
C2	336.10	500.00'	38°30'50"	N19°10'41"W, 329.81'

SSNS REALTY, INC.
52.269 ACRES
DC# 4 2019-00992
D.R.H.C.T.



PATRICIA DAVANNE GRANT
15.000 ACRES
VOL. D.R.H.C.T. 970

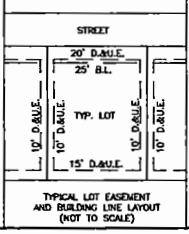
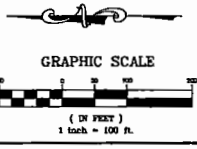
EDWARD J. WISE
VOL. 518, PG. 741
D.R.H.C.T.

SOBBY ABELL
SHARON ABELL
6.742 ACRES
DC# 4 2015-5682
D.R.H.C.T.

FELTON W. HOOD
VOL. 936, PG. 762
D.R.H.C.T.

COUNTY ROAD NO. 2216

POINT OF BEGINNING



- LEGEND**
- D.E. - DRAINAGE EASEMENT
 - D.U.E. - DRAINAGE & UTILITY EASEMENT
 - B.L. - BUILDING LINE
 - I.P.F. - IRON PIN FOUND
 - R.C.I.P.F. - 1/2" IRON PIN FOUND WITH RED CAP STAMPED "OWENS RPLS 5387"
 - D.R.H.C.T. - DEED RECORDS, HUNT COUNTY, TEXAS
 - P.R.H.C.T. - PLAT RECORDS, HUNT COUNTY, TEXAS
 - OSSF - ON SITE SEWAGE FACILITY ZONE

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WHISPERING WINDS
52.286 ACRES OF LAND
A. LAWSON SURVEY, ABSTRACT NO. 611
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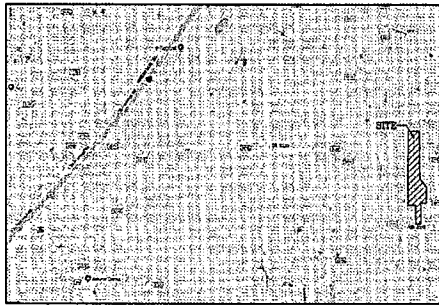
PAGE 2 OF 3

CARROLL CONSULTING GROUP, INC.
P.O. BOX 11, LAWON, TEXAS 75166 (972) 742-4411
TEXAS FIRM REGISTRATION NO.: 10007200

JOB No.	SCALE	DATE	DRAWN BY:
2485-18	1"=100'	MARCH 4, 2019	CP

OWNER:
PAMELA BOWEN STANLEY
30 W. 96TH ST #1A
NEW YORK, NY 10025

CONSTRUCTION PLANS FOR WHISPERING WINDS HUNT COUNTY, TEXAS



LOCATION MAP
NOT TO SCALE

SHT #	SHEET TITLE
1	COVER SHEET
2-4	FINAL PLAN (3 SHEETS)
5	PAVING PLAN & PROFILE: JUNIPER COURT
6	PAVING PLAN & PROFILE: EVERGREEN LANE ~ STA 0+00 TO 11+00
7	PAVING PLAN & PROFILE: EVERGREEN LANE ~ STA 11+00 TO 23+00
8	PAVING PLAN & PROFILE: EVERGREEN LANE ~ STA 23+00 TO 35+00
9	PAVING PLAN & PROFILE: EVERGREEN LANE ~ STA 35+00 TO END
10	EXISTING DRAINAGE AREA MAP
11	PROPOSED DRAINAGE AREA MAP
12	EROSION CONTROL PLAN
13	DETENTION POND 1
14	DETENTION POND 2
15	STORM SEWER P&P: LINE "A"
DETAILS	
16	PAVING DETAILS
17	TROOT SAFETY END TREATMENT

CONSTRUCTION GENERAL NOTES

1. All construction shall conform to the Hunt County Standard Details and Specifications for Paving, Storm Drainage, Water & Sewer, Street Etc. All work is subject to inspection by the Hunt County.
2. The existence and location of all underground utilities shown (under lines, no labels or services shown) on the drawings were obtained from available records and one inspection. Neither the Engineer nor the Engineer assumes any responsibility for utilities not shown or not in the location shown. The contractor shall determine the depth and location of all existing underground utilities prior to trenching and shall be required to take any precautionary measures for utilities not shown and/or any other underground utilities not of record or not shown on the plans. Contractor shall be responsible for contacting all agencies and city offices at least 10 hours prior to starting construction.
3. Any contractor/subcontractor performing work on this project shall indemnify himself with the state and be solely responsible for any claims or actions resulting from the project. All existing improvements shall be replaced or repaired by the contractor at his expense and shall be approved by the Hunt County.
4. All construction, loading and materials shall meet or exceed all standards & specifications of the Hunt County and the "Standard Specifications for Public Works Construction, North Central Texas Chapter of Government."

OWNER-APPLICANT
PERRY BOWEN
230 MYERS ROAD
HEATH, TEXAS 75032

INTERIM REVIEW
NOT INTENDED FOR CONSTRUCTION
EXEMPT FROM PUBLIC PARTICIPATION
OWNER: MARK H. ROCKMAN
DATE: 02/24/2018

Permittee:
MAD ROAD WITH WALKWAY IN THE CENTER OF COUNTY
PCAD No. 2276
ELEV. 4.531-22

PRELIMINARY - NOT FOR CONSTRUCTION
This document is released for the purpose of
GENERAL REVIEW under the authority of
Mark H. Rockman, P.E. 75402.

HCE
 H. C. Engstrom Consulting Engineers, Inc.
 10000 W. 14th Street, Suite 100
 Fort Worth, Texas 76134
 (817) 336-1111
 www.hce-engineers.com

COVER SHEET
 WHISPERING WINDS
 HUNT COUNTY, TEXAS
 230 MYERS ROAD
 HEATH, TEXAS 75032

DATE: 02/24/2018
 TIME: 10:00 AM
 DRAWN BY: MHR
 CHECKED BY: MHR
 PROJECT NO.: 18-001
 SHEET NO.: 1 OF 17

DATE: 02/24/2018
 TIME: 10:00 AM
 DRAWN BY: MHR
 CHECKED BY: MHR
 PROJECT NO.: 18-001
 SHEET NO.: 1 OF 17

SSNS REALTY, INC.
52.286 ACRES
DCC.# 2019-00992
D.R.H.C.T.

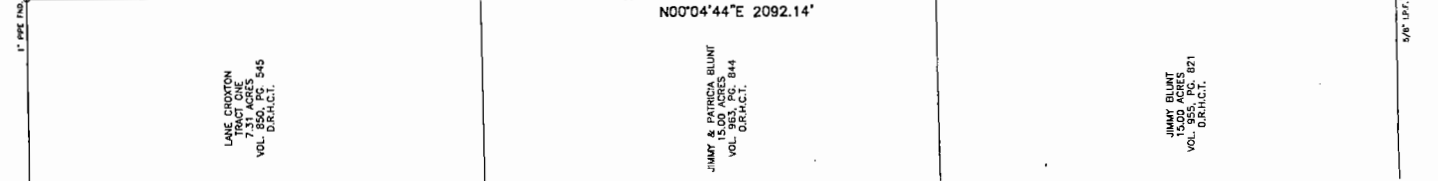
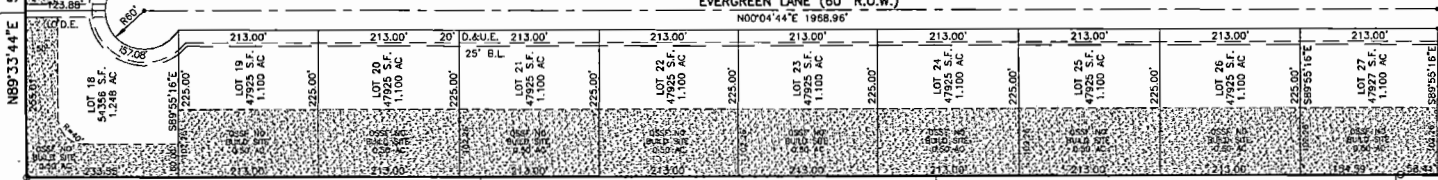
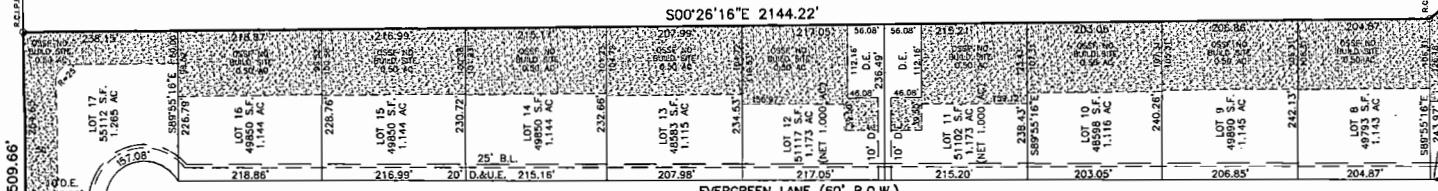
KEVIN ALLEN
EDDY E. WADSWORTH
28.12 ACRES
VOL. 556, P.C. 19
D.R.H.C.T.

BRADLEY G. HENDERSON
20 ACRES
VOL. 211-2784
D.R.H.C.T.

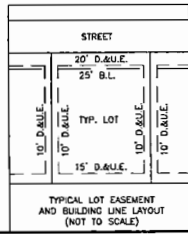
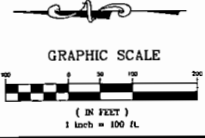
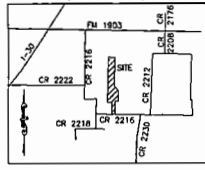
LANE CHURTON
7.31 ACRES
VOL. 850, P.C. 545
D.R.H.C.T.

JIMMY & PATRICIA BLUNT
15.93 ACRES
VOL. 983, P.C. 844
D.R.H.C.T.

WANDA BLUNT
15.00 ACRES
VOL. 955, P.C. 821
D.R.H.C.T.



VICINITY MAP (NOT TO SCALE)



- LEGEND**
- D.E. - DRAINAGE EASEMENT
 - D.&U.E. - DRAINAGE & UTILITY EASEMENT
 - B.L. - BUILDING LINE
 - L.P.F. - IRON PIN FOUND
 - R.C.I.P.F. - 1/2" IRON PIN FOUND WITH RED CAP STAMPED "OWENS RPLS 5387"
 - D.R.H.C.T. - DEED RECORDS, HUNT COUNTY, TEXAS
 - P.R.H.C.T. - PLAT RECORDS, HUNT COUNTY, TEXAS
 - OSSF - ON SITE SEWAGE FACILITY ZONE

FINAL PLAT

WHISPERING WINDS
52.286 ACRES OF LAND
A. LAWSON SURVEY, ABSTRACT NO. 611
HUNT COUNTY, TEXAS

PAGE 1 OF 3

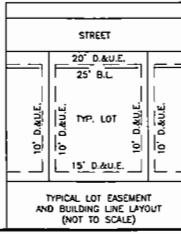
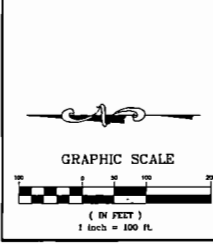
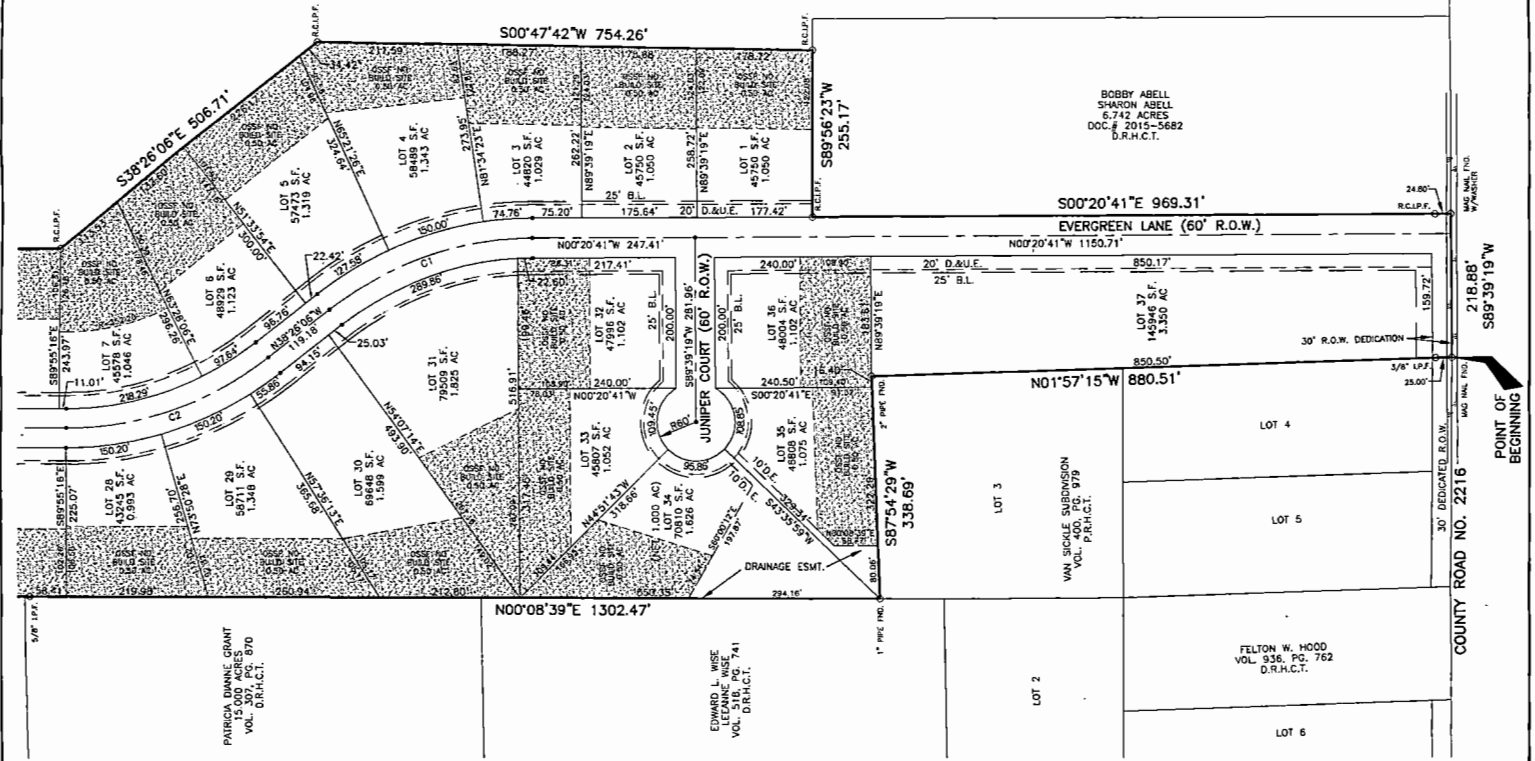
CARROLL CONSULTING GROUP, INC.
P.O. BOX 11, LAVON, TEXAS 75166 (972) 742-4411
TEXAS FIRM REGISTRATION NO.: 10007200

JOB No.	SCALE	DATE	DRAWN BY:
2485-18	1"=100'	MARCH 4, 2019	CP

OWNER:
PAMELA BOWEN STANLEY
30 W. 96TH ST #1A
NEW YORK, NY 10025

Curve Table				
Curve #	Length	Radius	Delta	CHORD
C1	332.40	500.00'	38°05'25"	N19°23'23"W, 326.31'
C2	336.10	500.00'	38°30'50"	N19°10'41"W, 329.81'

SSNS REALTY, INC.
52.286 ACRES
DOC.# 2019-00992
D.R.H.C.T.



LEGEND	
D.E.	-- DRAINAGE EASEMENT
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B.L.	-- BUILDING LINE
I.P.F.	-- IRON PIN FOUND
R.C.I.P.F.	-- 1/2" IRON PIN FOUND WITH RED CAP STAMPED "CWENS RPLS 5387"
D.R.H.C.T.	-- DEED RECORDS, HUNT COUNTY, TEXAS
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FINAL PLAT
WHISPERING WINDS
52.286 ACRES OF LAND
A. LAWSON SURVEY, ABSTRACT NO. 611
HUNT COUNTY, TEXAS

PAGE 2 OF 3

CARROLL CONSULTING GROUP, INC.
P.O. BOX 11, LAVON, TEXAS 75166 (972) 742-4411
TEXAS FIRM REGISTRATION NO.: 10007200

OWNER:	PAMELA BOWEN STANLEY 30 W. 96TH ST #1A NEW YORK, NY 10025
JOB No.	2485-18
SCALE:	1"=100'
DATE:	MARCH 4, 2019
DRAWN BY:	CP

OWNER'S CERTIFICATE
STATE OF TEXAS
COUNTY OF HUNT

Whereas, Pamela Bowen Stanley is the owner of a tract of land situated in the A. Lawson Survey, Abstract No. 611, Hunt County, Texas, and being the same cased 52,269 acre tract of land conveyed to Pamela Bowen Stanley by deed recorded in Document No. 2018-03557, Deed Records, Hunt County, Texas, and being more particularly described as follows:

Beginning at a mag nail found in the center of County Road No. 2216, for the southeast corner of said 52,269 acre tract and the southeast corner of Van Sickle Subdivision, an addition to Hunt County, Texas, according to the plat thereof recorded in Volume 400, Page 979, Plat Records, Hunt County, Texas;

Thence, North 01°57'15" West, along a west line of said 52,269 acre tract and the east line of said Van Sickle Subdivision, a distance of 25.00 feet passing a 3/8" iron pin found at fence corner and continuing for a total distance of 880.51 feet to a 2" pipe found for the northeast corner of said Van Sickle Subdivision and a re-entrant corner of said 52,269 acre tract;

Thence, South 87°54'29" West, along a south line of said 52,269 acre tract and the north line of said Van Sickle Subdivision, a distance of 338.69 feet to a 1" pipe found for the most westerly southwest corner of said 52,269 acre tract and a northeast corner of said Van Sickle Subdivision and being on the east line of a tract of land conveyed to Edward L. Wise and Leanne Wise by deed recorded in Volume 518, Page 741, Deed Records, Hunt County, Texas;

Thence, North 00°06'39" East, along the west line of said 52,269 acre tract and the east line of said Wise tract, at a distance of 609.40 feet passing a 3/8" iron pin found and continuing along the west line of said 52,269 acre tract and the east line of a 15,000 acre tract of land conveyed to Patricia Donna Grant by deed recorded in Volume 307, Page 870, Deed Records, Hunt County, Texas, for a total distance of 1,302.47 feet to a 5/8" iron pin found for corner;

Thence, North 00°04'44" East, along the west line of said 52,269 acre tract, the east line of said Hunt tract and the east line of a 15,000 acre tract of land conveyed to Jimmy and Patricia Hunt by deed recorded in Volume 563, Page 844, Deed Records, Hunt County, Texas, at a distance of 1400.35 feet passing a 3/8" iron pin found and continuing along the west line of said 52,269 acre tract and the east line of a 7.31 acre tract of land conveyed to Lane Cranton by deed recorded in Volume 650, Page 545, Deed Records, Hunt County, Texas, for a total distance of 2,092.14 feet to a 1" pipe found for the northwest corner of said 52,269 acre tract, the northeast corner of said 7.31 acre tract and being on the south line of a 29,827 acre tract of land conveyed to Bradley G. Pierson by deed recorded in Document No. 2011-2784, Deed Records, Hunt County, Texas;

Thence, North 89°33'44" East, along the north line of said 52,269 acre tract, the south line of said 29,827 acre tract and the south line of a 28.12 acre tract of land conveyed to Hector Alvarez and Edger E. Navarra by deed recorded in Volume 1569, Page 19, Deed Records, Hunt County, Texas, at a distance of 252.02 feet to a 1/2" capped iron pin found stamped "SIOVAL" and continuing for a total distance of 509.66 feet to a 1/2" iron pin found with red cap stamped "OWENS RPLS 5387" for the northeast corner of said 52,269 acre tract and the northwest corner of a 52,269 acre tract of land conveyed to SWS Realty, Inc. by deed recorded in Document No. 2019-00992, Deed Records, Hunt County, Texas;

Thence, South 00°26'16" East, along the east line of said Stanley tract and the west line of said Abell tract, a distance of 2,144.22 feet to a 1/2" iron pin found with red cap stamped "OWENS RPLS 5387" for corner;

Thence, South 38°26'09" East, along the east line of said Stanley tract and the west line of said Abell tract, a distance of 508.71 feet to a 1/2" iron pin found with red cap stamped "OWENS RPLS 5387" for corner;

Thence, South 00°47'42" West, along the east line of said Stanley tract and the west line of said Abell tract, a distance of 754.26 feet to a 1/2" iron pin found with red cap stamped "OWENS RPLS 5387" for the most easterly southwest corner of said Stanley tract and a southwest corner of said Abell tract and being on the north line of a 6,742 acre tract of land conveyed to Bobby Abell and Sharon Abell by deed recorded in Document No. 2015-5682, Deed Records, Hunt County, Texas;

Thence, South 85°56'23" West, along a south line of said Stanley tract and the north line of said 6,742 acre tract, a distance of 255.17 feet to a 1/2" iron pin found with red cap stamped "OWENS RPLS 5387" for a re-entrant corner of said Stanley tract and the northwest corner of said 6,742 acre tract;

Thence, South 00°20'41" East, along an east line of said Stanley tract and the west line of said 6,742 acre tract, at a distance of 944.51 feet to a 1/2" iron pin found with red cap stamped "OWENS RPLS 5387" for reference and for a total distance of 959.31 feet to a mag nail found with washer in center of County Road No. 2216 for the southeast corner of said Stanley tract and the southeast corner of said 6,742 acre tract;

Thence, South 89°35'19" West, along the south line of said Stanley tract and the center of County Road No. 2216, a distance of 218.88 feet to the Point of Beginning and containing 2,277,563 square feet or 52,266 acres of land.

HOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT, Pamela Bowen Stanley, does hereby adopt this plat as WHISPERING WINDS an addition to Hunt County, Texas and dedicates to the public use forever the roads and easements shown hereon for the mutual use and accommodation of any public utility desiring to use or using same for the purpose of construction, maintaining, adding to or removing any or all of their respective systems located therein.

WITNESS, my hand, this _____ day of _____, 2019.

By: _____
Pamela Bowen Stanley, Owner

STATE OF TEXAS
COUNTY OF HUNT

Before me, the undersigned authority, on this day personally appeared Pamela Bowen Stanley, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration and under the authority therein expressed.

GIVEN under my hand and seal of office this _____ day of _____, 2019.

Notary Public for and in the State of Texas
My commission expires: _____

SURVEYOR'S CERTIFICATE
STATE OF TEXAS

I, James Bart Carroll, Registered Public Surveyor, hereby certify that I have prepared this plat from an actual on-the-ground survey of the land and that the corner monuments shown thereon were properly placed under my personal supervision in accordance with the plotting rules and regulations of Hunt County, Texas.

James Bart Carroll
Texas Registered Professional Land Surveyor No. 5129

NOTARY CERTIFICATE
STATE OF TEXAS
COUNTY OF COLLIN

Before me, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared James Bart Carroll, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he/she executed the same in the capacity therein stated.

GIVEN under my hand and seal of office, this _____ day of _____, 2019.

Notary Public in and for the State of Texas.
My commission expires: _____

STATE OF TEXAS
COUNTY OF HUNT

KNOW ALL MEN BY THESE PRESENTS:
I, _____ County Judge of Hunt County, Texas, do hereby certify that this final plat, with field notes hereon, having been fully presented to the Commissioner Court of Hunt County, Texas, and by the said Court duly considered, was on this day approved and the plat is authorized to be registered and recorded in the proper records of the County Clerk of Hunt County, Texas.

County Judge, Hunt County, Texas	Date	County Commissioner Precinct 3	Date
Philip Martin			
County Commissioner Precinct 1	Date	County Commissioner Precinct 4	Date
Eric Evans		Steven M. Harrison	
County Commissioner Precinct 2	Date	Health Department	Date
Randy Strait			

Certificate of Acceptance of Dedication

The undersigned, the County Clerk of Hunt County, Texas, does hereby certify that on the _____ day of _____, 2019, all the owners of real property described above did execute and deliver unto the Hunt County Commissioners Court their dedication of all streets, alleys, parks, easements, and other public areas to the public, a copy of which is affixed to the face of this plat; and the Hunt County Commissioners Court did, by appropriate minute order, accept the dedication of all streets, alleys, parks, easements, and other public areas on behalf of the public.

Certified this _____ day of _____, 2019.

County Clerk
Hunt County, Texas

Certificate of Compliance

The undersigned, the County Clerk of Hunt County, Texas, does hereby certify that on the _____ day of _____, 2019, the Hunt County Commissioners Court, by appropriate minute order, did find that this final plat is in compliance with applicable State and County subdivision regulations, and did approve the same for filing in the plat records of Hunt County, Texas.

Certified the _____ day of _____, 2019.

County Clerk
Hunt County, Texas

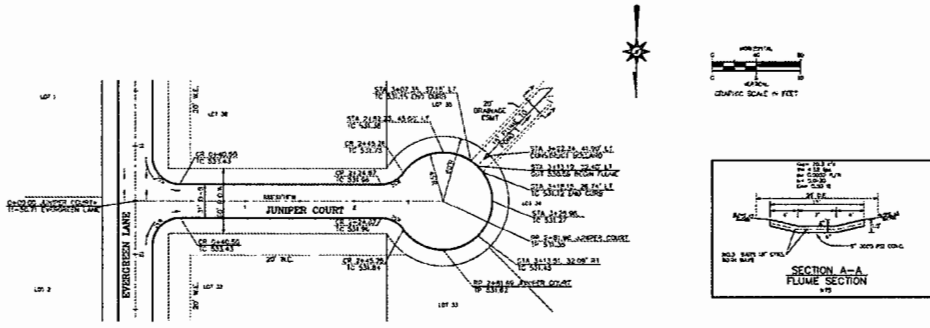
FINAL PLAT

WHISPERING WINDS
52.286 ACRES OF LAND
A. LAWSON SURVEY, ABSTRACT NO. 611
HUNT COUNTY, TEXAS

PAGE 3 OF 3

CARROLL CONSULTING GROUP, INC.			
P.O. BOX 11, LAVON, TEXAS 75166 (972) 742-4411			
TEXAS FIRM REGISTRATION NO.: 10007200			
JOB No.	SCALE:	DATE	DRAWN BY:
2485-18	1"=100'	MARCH 4, 2019	CP

OWNER:
PAMELA BOWEN STANLEY
30 W. 96TH ST #1A
NEW YORK, NY 10025

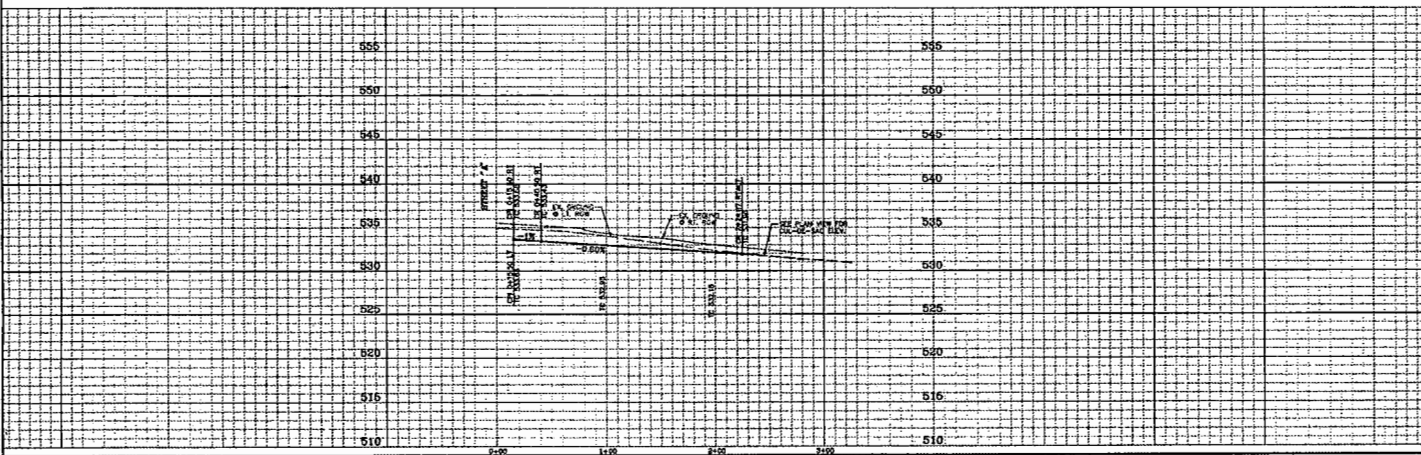


JUNIPER COURT

PRELIMINARY -- NOT FOR CONSTRUCTION
 This document is prepared for the purpose of
 INTERIM REVIEW under the authority of
 MARK H. HICKMAN, P.E., TEXAS

HCE Hickman Consulting Engineers, Inc.
 PROFESSIONAL ENGINEERS
 1000 W. FARMERSVILLE BLVD.
 FARMERSVILLE, TEXAS 77834
 TEL: 817-251-1111
 FAX: 817-251-1112
 WWW.HICKMANENGINEERS.COM

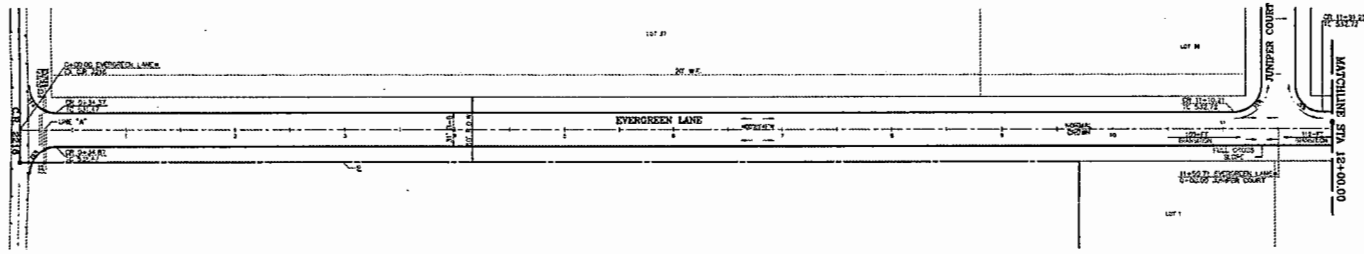
PAVING PLAN & PROFILE
 WHISPERING WINDS
 HUNT COUNTY, TEXAS
 PROJECT NUMBER
 2010-001



NO.	DATE	DESCRIPTION
1	10/1/10	ISSUED FOR PERMIT
2	10/1/10	ISSUED FOR CONSTRUCTION
3	10/1/10	ISSUED FOR CONSTRUCTION
4	10/1/10	ISSUED FOR CONSTRUCTION
5	10/1/10	ISSUED FOR CONSTRUCTION

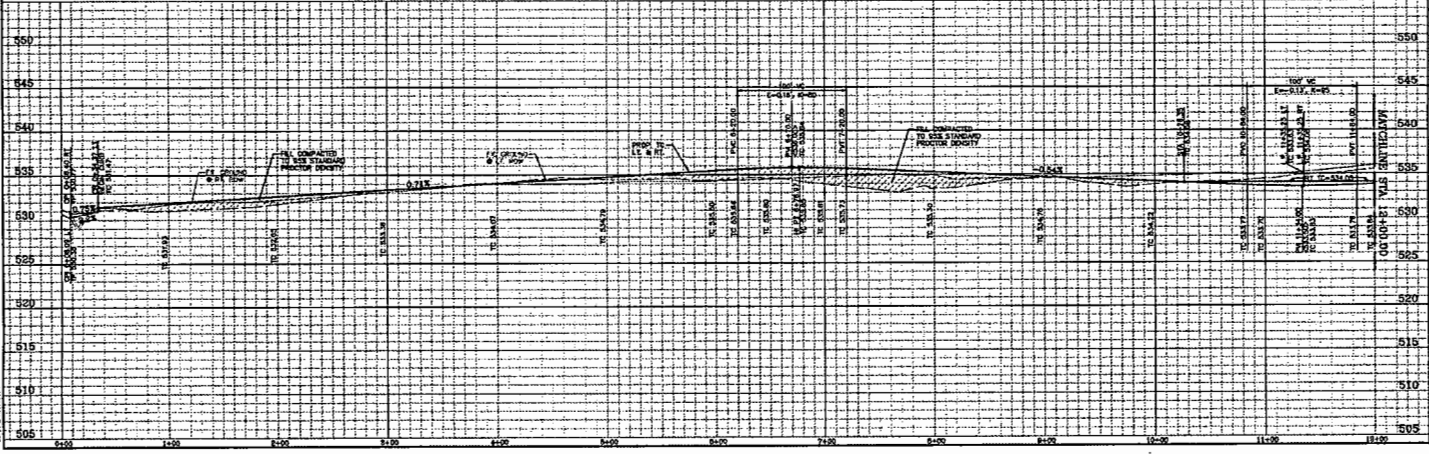
Scale: 1" = 40' (Horizontal), 1" = 10' (Vertical)

Sheet 5



EVERGREEN LANE

PRELIMINARY - NOT FOR CONSTRUCTION
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INTERIOR REVIEW under the authority of
BOOK 4, INSTRUMENT, P. 2, 78400, 4'



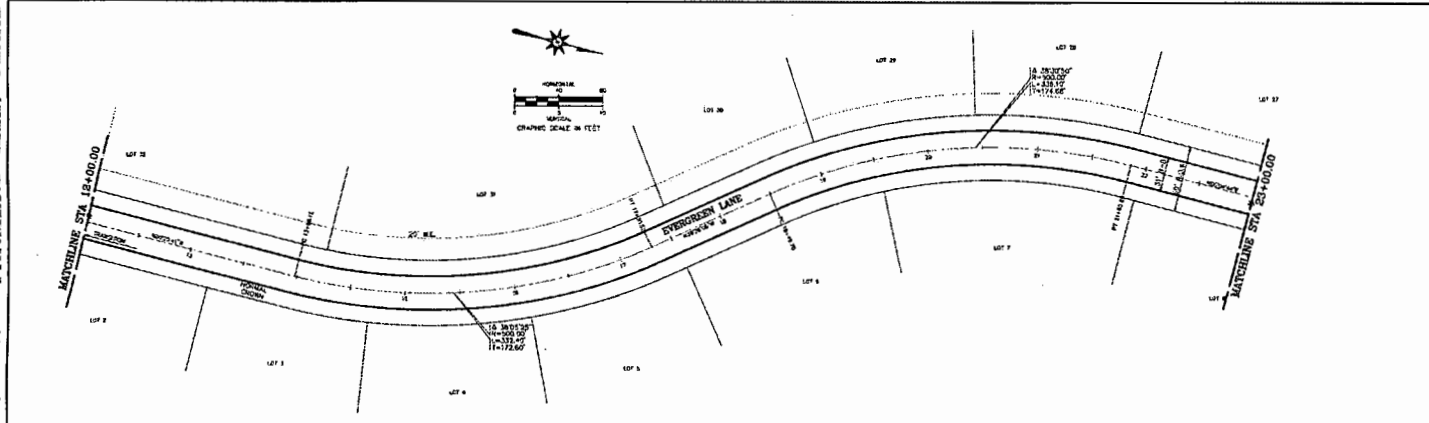
HCE Hickman Consulting Engineers, Inc.
 1415 West Loop South, Suite 1000
 Houston, Texas 77027
 Phone: (713) 865-1100
 Fax: (713) 865-1101
 Email: hce@hickman-engineers.com
 Website: www.hickman-engineers.com

HAVING PLAN & PROFILE
 ENGINEERING WORK
 HUNT COUNTY, TEXAS
 PROPERTY OWNER
 000001 VALS ANTIQUARIY
 HEATON, TEXAS 77850

DATE: 08/20/13
 DRAWN BY: J. M. BROWN
 CHECKED BY: J. M. BROWN
 SCALE: AS SHOWN
 PROJECT NO.: 13-000

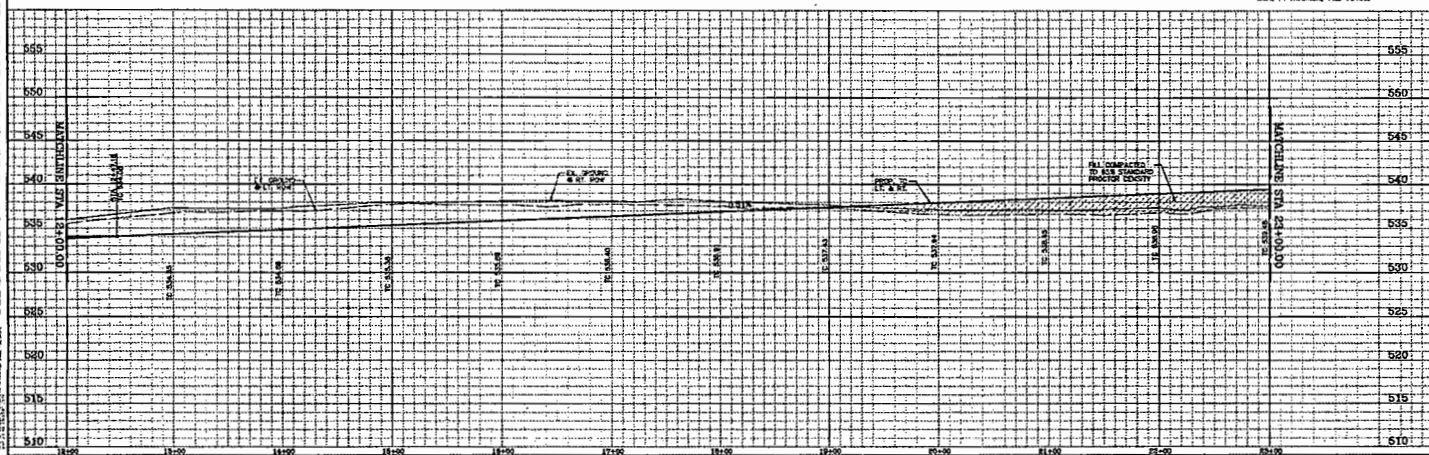
REVISIONS
 1. AS SHOWN
 2. 08/20/13
 3. 08/20/13

DATE: 08/20/13
 DRAWN BY: J. M. BROWN
 CHECKED BY: J. M. BROWN
 SCALE: AS SHOWN
 PROJECT NO.: 13-000



EVERGREEN LANE

PRELIMINARY - NOT FOR CONSTRUCTION
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 public review under the authority of
 Mark P. Hickman, P.E. 75426



HCE
 Hickman Consulting Engineers, Inc.
 1000 WEST WINDS
 HUNT COUNTY, TEXAS
 75840
 PHONE: 281-283-1100
 FAX: 281-283-1101
 WWW.HICKMANENGINEERS.COM

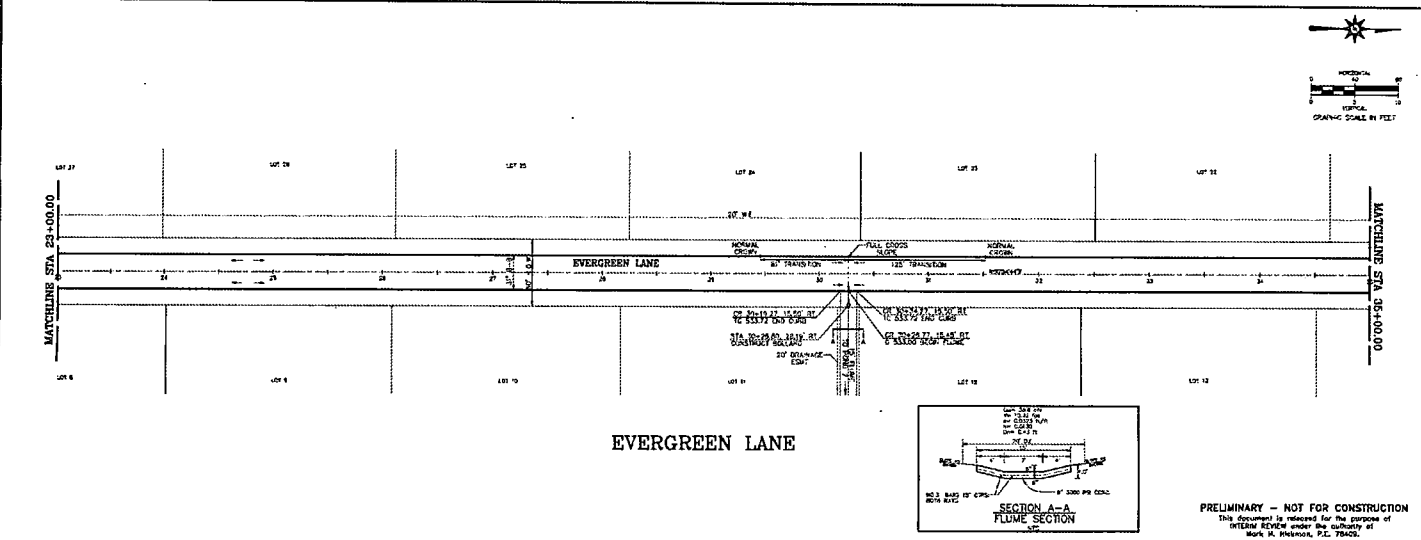
PAVING PLAN & PROFILE
 WINDSING WINDS
 HUNT COUNTY, TEXAS
 PROJECT NO. 2020-001
 DATE: 08/20/2020

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITS	08/20/2020
2	FOR REVIEW	08/20/2020
3	FOR REVIEW	08/20/2020
4	FOR REVIEW	08/20/2020
5	FOR REVIEW	08/20/2020
6	FOR REVIEW	08/20/2020
7	FOR REVIEW	08/20/2020

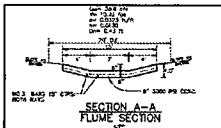
SCALE: 1" = 20' (PLAN)
 1" = 10' (PROFILE)

DATE: 08/20/2020

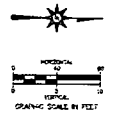
SHEET 7



EVERGREEN LANE

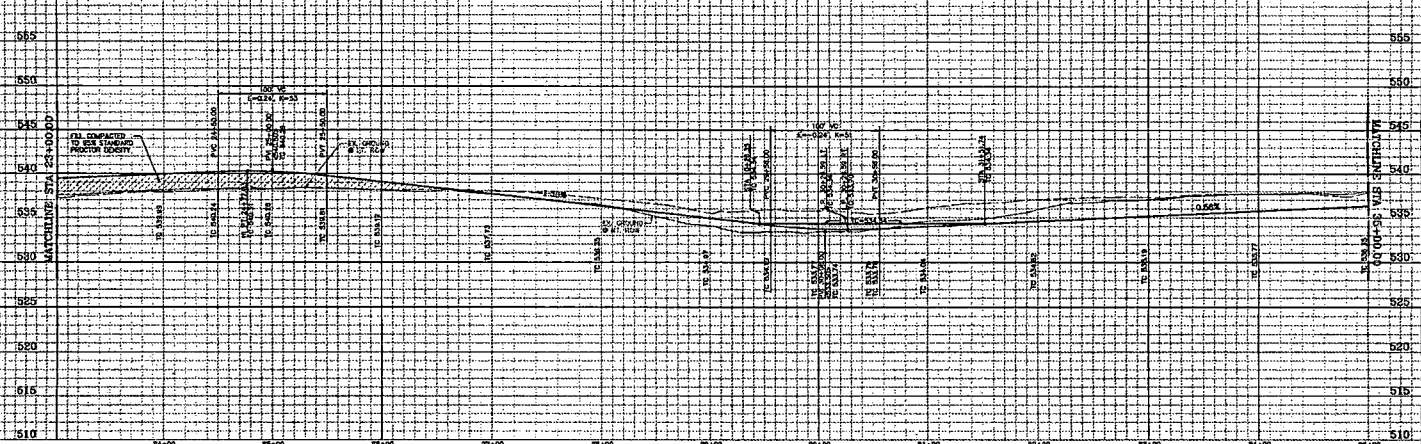


PRELIMINARY - NOT FOR CONSTRUCTION
 This document is prepared for the purpose of
 providing a visual check under the authority of
 Mark A. Hickman, P.E., P.S.C.

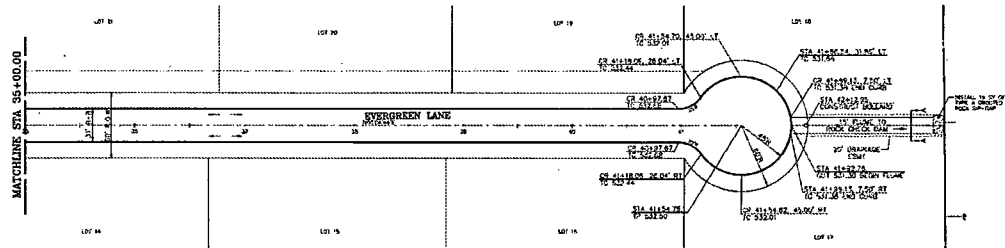


HCE Hickman Consulting Engineers, Inc.
 1000 W. 10th Street, Suite 100
 Farmersville, Texas 75752
 P.O. Box 1000
 Farmersville, Texas 75752
 P.E. Mark A. Hickman
 P.S.C. 1000

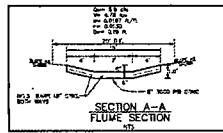
PAVING PLAN & PROFILE
 WHISPERING WINDS
 HUNT COUNTY, TEXAS
 2.00 WINDY ROAD
 SOUTH TEXAS TRUSS



STATION	EXISTING ELEVATION	PROPOSED ELEVATION	THICKNESS	DESCRIPTION
81+00	510.00	510.00	0.00	EXISTING GROUND
81+00	510.00	510.00	0.00	PROPOSED SUBGRADE
81+00	510.00	510.00	0.00	PROPOSED BASE
81+00	510.00	510.00	0.00	PROPOSED SURFACE
82+00	515.00	515.00	0.00	EXISTING GROUND
82+00	515.00	515.00	0.00	PROPOSED SUBGRADE
82+00	515.00	515.00	0.00	PROPOSED BASE
82+00	515.00	515.00	0.00	PROPOSED SURFACE
83+00	520.00	520.00	0.00	EXISTING GROUND
83+00	520.00	520.00	0.00	PROPOSED SUBGRADE
83+00	520.00	520.00	0.00	PROPOSED BASE
83+00	520.00	520.00	0.00	PROPOSED SURFACE
84+00	525.00	525.00	0.00	EXISTING GROUND
84+00	525.00	525.00	0.00	PROPOSED SUBGRADE
84+00	525.00	525.00	0.00	PROPOSED BASE
84+00	525.00	525.00	0.00	PROPOSED SURFACE

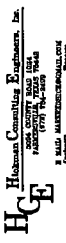


EVERGREEN LANE

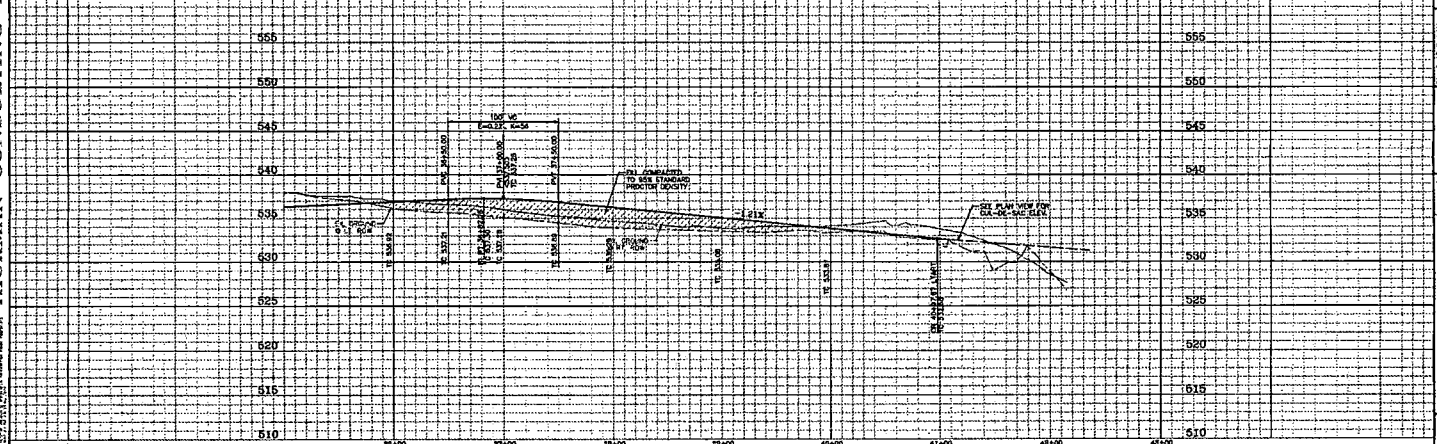


SECTION A-A
FLUME SECTION

PRELIMINARY - NOT FOR CONSTRUCTION
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obtaining permits under the authority of
Mark H. Hickman, P.E. 784059

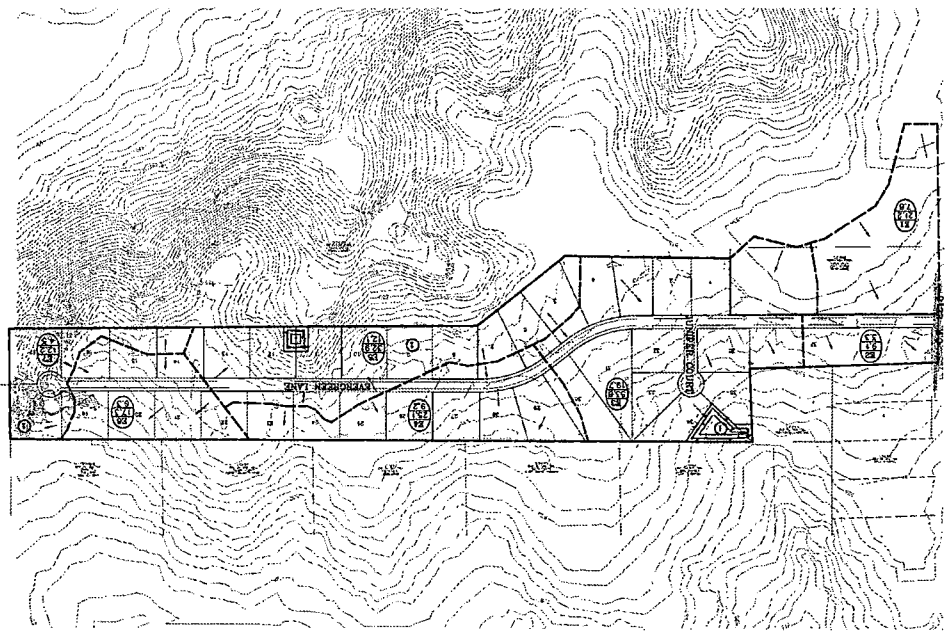


PAVING PLAN & PROFILE
WINDSPRING WINDS
HUNT COUNTY, TEXAS
PROJECT NO. 2018-001
DATE: 08/15/2018



NO.	DATE	DESCRIPTION
1	08/15/2018	ISSUED FOR PERMITS
2	08/15/2018	ISSUED FOR PERMITS
3	08/15/2018	ISSUED FOR PERMITS
4	08/15/2018	ISSUED FOR PERMITS
5	08/15/2018	ISSUED FOR PERMITS
6	08/15/2018	ISSUED FOR PERMITS
7	08/15/2018	ISSUED FOR PERMITS
8	08/15/2018	ISSUED FOR PERMITS
9	08/15/2018	ISSUED FOR PERMITS
10	08/15/2018	ISSUED FOR PERMITS

PROJECT NO. 2018
 DATE = 03/22



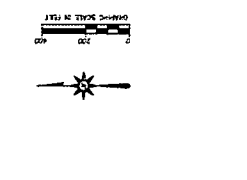
PRELIMINARY - NOT FOR CONSTRUCTION
 This drawing is prepared for the purpose of
 showing only and is not to be used for
 any other purpose without the consent of
 the engineer, H. E. Hickman, P.E., 19803.

LEGEND
 --- EXISTING DRAINAGE AREA BOUNDARY
 --- EXISTING CONTOURS
 --- DIRECTION OF FLOW
 --- EXISTING DRAINAGE AREA CENTER
 --- DRAINAGE AREA (ACRES)
 --- DRAINAGE AREA (SQ. FT.)

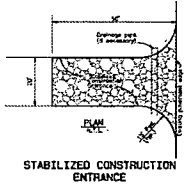
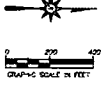
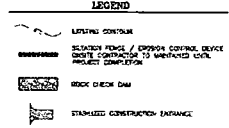
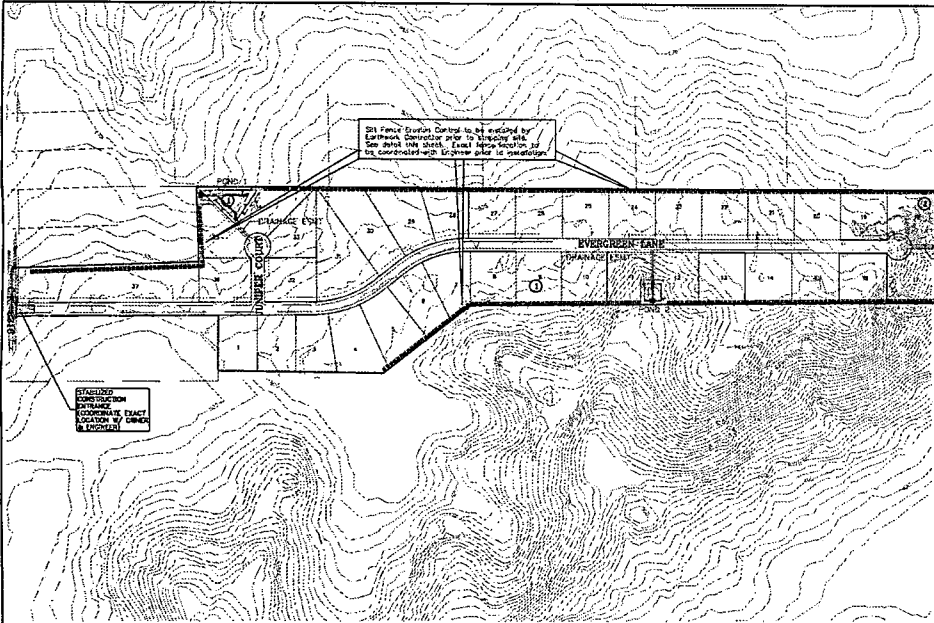
RATIONAL METHOD
 Q = CA
 C = Run Coef.
 A = Drainage Area (Acres)
 I = Intensity (in/hr.)

EXISTING DRAINAGE CALCULATIONS

NO.	AREA (A)	C	I	Q	AREA (A)	C	I	Q
1	1.00	0.50	1.00	0.50	1.00	0.50	1.00	0.50
2	1.00	0.50	1.00	0.50	1.00	0.50	1.00	0.50
3	1.00	0.50	1.00	0.50	1.00	0.50	1.00	0.50
4	1.00	0.50	1.00	0.50	1.00	0.50	1.00	0.50
5	1.00	0.50	1.00	0.50	1.00	0.50	1.00	0.50
6	1.00	0.50	1.00	0.50	1.00	0.50	1.00	0.50
7	1.00	0.50	1.00	0.50	1.00	0.50	1.00	0.50
8	1.00	0.50	1.00	0.50	1.00	0.50	1.00	0.50
9	1.00	0.50	1.00	0.50	1.00	0.50	1.00	0.50
10	1.00	0.50	1.00	0.50	1.00	0.50	1.00	0.50
11	1.00	0.50	1.00	0.50	1.00	0.50	1.00	0.50
12	1.00	0.50	1.00	0.50	1.00	0.50	1.00	0.50
13	1.00	0.50	1.00	0.50	1.00	0.50	1.00	0.50
14	1.00	0.50	1.00	0.50	1.00	0.50	1.00	0.50
15	1.00	0.50	1.00	0.50	1.00	0.50	1.00	0.50
16	1.00	0.50	1.00	0.50	1.00	0.50	1.00	0.50
17	1.00	0.50	1.00	0.50	1.00	0.50	1.00	0.50
18	1.00	0.50	1.00	0.50	1.00	0.50	1.00	0.50
19	1.00	0.50	1.00	0.50	1.00	0.50	1.00	0.50
20	1.00	0.50	1.00	0.50	1.00	0.50	1.00	0.50
21	1.00	0.50	1.00	0.50	1.00	0.50	1.00	0.50
22	1.00	0.50	1.00	0.50	1.00	0.50	1.00	0.50
23	1.00	0.50	1.00	0.50	1.00	0.50	1.00	0.50
24	1.00	0.50	1.00	0.50	1.00	0.50	1.00	0.50
25	1.00	0.50	1.00	0.50	1.00	0.50	1.00	0.50
26	1.00	0.50	1.00	0.50	1.00	0.50	1.00	0.50
27	1.00	0.50	1.00	0.50	1.00	0.50	1.00	0.50
28	1.00	0.50	1.00	0.50	1.00	0.50	1.00	0.50
29	1.00	0.50	1.00	0.50	1.00	0.50	1.00	0.50
30	1.00	0.50	1.00	0.50	1.00	0.50	1.00	0.50
31	1.00	0.50	1.00	0.50	1.00	0.50	1.00	0.50
32	1.00	0.50	1.00	0.50	1.00	0.50	1.00	0.50
33	1.00	0.50	1.00	0.50	1.00	0.50	1.00	0.50
34	1.00	0.50	1.00	0.50	1.00	0.50	1.00	0.50
35	1.00	0.50	1.00	0.50	1.00	0.50	1.00	0.50
36	1.00	0.50	1.00	0.50	1.00	0.50	1.00	0.50
37	1.00	0.50	1.00	0.50	1.00	0.50	1.00	0.50
38	1.00	0.50	1.00	0.50	1.00	0.50	1.00	0.50
39	1.00	0.50	1.00	0.50	1.00	0.50	1.00	0.50
40	1.00	0.50	1.00	0.50	1.00	0.50	1.00	0.50
41	1.00	0.50	1.00	0.50	1.00	0.50	1.00	0.50
42	1.00	0.50	1.00	0.50	1.00	0.50	1.00	0.50
43	1.00	0.50	1.00	0.50	1.00	0.50	1.00	0.50
44	1.00	0.50	1.00	0.50	1.00	0.50	1.00	0.50
45	1.00	0.50	1.00	0.50	1.00	0.50	1.00	0.50
46	1.00	0.50	1.00	0.50	1.00	0.50	1.00	0.50
47	1.00	0.50	1.00	0.50	1.00	0.50	1.00	0.50
48	1.00	0.50	1.00	0.50	1.00	0.50	1.00	0.50
49	1.00	0.50	1.00	0.50	1.00	0.50	1.00	0.50
50	1.00	0.50	1.00	0.50	1.00	0.50	1.00	0.50

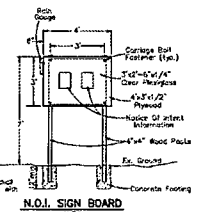
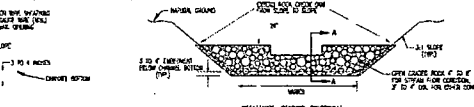
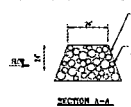


EXISTING DRAINAGE AREA MAP
 WILKINSVILLE, TEXAS
 HUNT COUNTY, TEXAS
 H. E. HICKMAN CONSULTING ENGINEERS, INC.
 19803 FARMERSVILLE, TEXAS 77936
 10 5-17



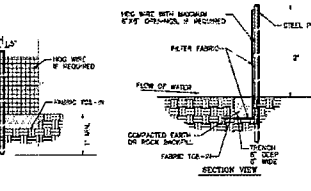
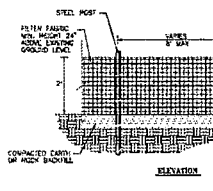
GENERAL NOTES FOR THE EROSION CONTROL PLAN

1. All erosion control measures shall be installed in accordance with the current city...
2. All erosion control measures shall be installed in accordance with the current city...
3. All erosion control measures shall be installed in accordance with the current city...
4. All erosion control measures shall be installed in accordance with the current city...
5. All erosion control measures shall be installed in accordance with the current city...
6. All erosion control measures shall be installed in accordance with the current city...
7. All erosion control measures shall be installed in accordance with the current city...
8. All erosion control measures shall be installed in accordance with the current city...
9. All erosion control measures shall be installed in accordance with the current city...
10. All erosion control measures shall be installed in accordance with the current city...
11. All erosion control measures shall be installed in accordance with the current city...
12. All erosion control measures shall be installed in accordance with the current city...
13. All erosion control measures shall be installed in accordance with the current city...
14. All erosion control measures shall be installed in accordance with the current city...
15. All erosion control measures shall be installed in accordance with the current city...



SILT FENCE GENERAL NOTES:

1. All silt fences shall be installed in accordance with the current city...
2. All silt fences shall be installed in accordance with the current city...
3. All silt fences shall be installed in accordance with the current city...
4. All silt fences shall be installed in accordance with the current city...
5. All silt fences shall be installed in accordance with the current city...
6. All silt fences shall be installed in accordance with the current city...
7. All silt fences shall be installed in accordance with the current city...
8. All silt fences shall be installed in accordance with the current city...
9. All silt fences shall be installed in accordance with the current city...
10. All silt fences shall be installed in accordance with the current city...
11. All silt fences shall be installed in accordance with the current city...
12. All silt fences shall be installed in accordance with the current city...
13. All silt fences shall be installed in accordance with the current city...
14. All silt fences shall be installed in accordance with the current city...
15. All silt fences shall be installed in accordance with the current city...
16. All silt fences shall be installed in accordance with the current city...



EROSION CONTROL CONSTRUCTION SEQUENCE

1. Install concrete entrance at indicated location.
2. Install rock check dam and stabilize slope of site indicated.
3. Install silt fence and stabilize slope of site indicated.
4. Install silt fence and stabilize slope of site indicated.
5. Install silt fence and stabilize slope of site indicated.
6. Remove all erosion control structures, except concrete entrance to stabilized grade.
7. Restore all disturbed areas to original condition.
8. Remove all remaining erosion control devices.
9. Reinstall existing slope to within 3' of original grading of necessary particle from local occurrence. Retained slope of concrete is a replica of the original condition.

PRELIMINARY - NOT FOR CONSTRUCTION
This document is prepared for the purpose of internal review under the authority of Mark W. Hickman, P.E., TRC.

HICKMAN CONSULTING ENGINEERS, INC.
Hickman Consulting Engineers, Inc.
1000 West Loop West, Suite 1000
Houston, Texas 77030
Tel: 281.412.1234
Fax: 281.412.1235
www.hickman-engineers.com

PROJECT INFORMATION:
PROJECT NO.: HCE-2023-001
DATE: 10/26/23
SCALE: AS SHOWN

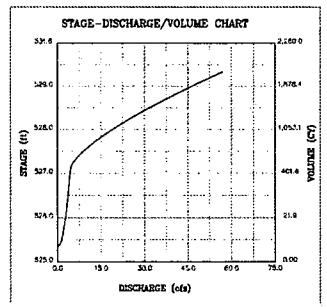
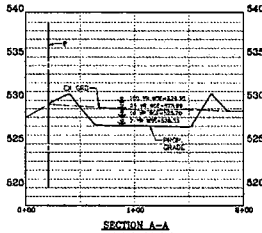
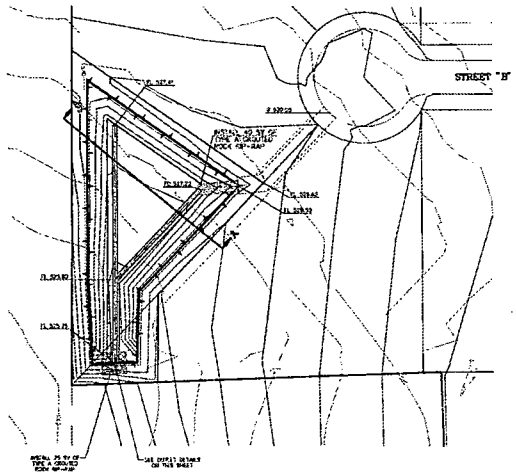
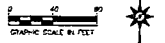
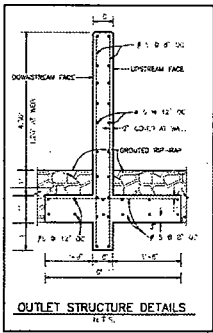
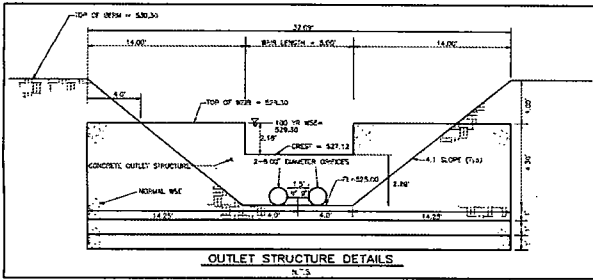
CLIENT:
HICKMAN CONSULTING ENGINEERS, INC.
1000 WEST LOOP WEST, SUITE 1000
HOUSTON, TEXAS 77030
TEL: 281.412.1234
FAX: 281.412.1235
WWW.HICKMAN-ENGINEERS.COM

PROJECT TITLE:
EROSION CONTROL PLAN
WHISPERING WINDS
HUNT COUNTY, TEXAS
2000 WEST LOOP ROAD
HOUSTON, TEXAS 77030

DATE:
10/26/23

DESCRIPTION:
EROSION CONTROL PLAN

SHEET:
12



100 YR DETENTION CALCULATIONS

DEPTH (FEET)	AREA (SQ FT)	VOLUME (CU FT)	TIME (MIN)
0.00	0.00	0.00	0.00
0.10	14.00	1.40	0.10
0.20	28.00	2.80	0.20
0.30	42.00	4.20	0.30
0.40	56.00	5.60	0.40
0.50	70.00	7.00	0.50
0.60	84.00	8.40	0.60
0.70	98.00	9.80	0.70
0.80	112.00	11.20	0.80
0.90	126.00	12.60	0.90
1.00	140.00	14.00	1.00

25 YR DETENTION CALCULATIONS

DEPTH (FEET)	AREA (SQ FT)	VOLUME (CU FT)	TIME (MIN)
0.00	0.00	0.00	0.00
0.10	14.00	1.40	0.10
0.20	28.00	2.80	0.20
0.30	42.00	4.20	0.30
0.40	56.00	5.60	0.40
0.50	70.00	7.00	0.50
0.60	84.00	8.40	0.60
0.70	98.00	9.80	0.70
0.80	112.00	11.20	0.80
0.90	126.00	12.60	0.90
1.00	140.00	14.00	1.00

10 YR DETENTION CALCULATIONS

DEPTH (FEET)	AREA (SQ FT)	VOLUME (CU FT)	TIME (MIN)
0.00	0.00	0.00	0.00
0.10	14.00	1.40	0.10
0.20	28.00	2.80	0.20
0.30	42.00	4.20	0.30
0.40	56.00	5.60	0.40
0.50	70.00	7.00	0.50
0.60	84.00	8.40	0.60
0.70	98.00	9.80	0.70
0.80	112.00	11.20	0.80
0.90	126.00	12.60	0.90
1.00	140.00	14.00	1.00

2 YR DETENTION CALCULATIONS

DEPTH (FEET)	AREA (SQ FT)	VOLUME (CU FT)	TIME (MIN)
0.00	0.00	0.00	0.00
0.10	14.00	1.40	0.10
0.20	28.00	2.80	0.20
0.30	42.00	4.20	0.30
0.40	56.00	5.60	0.40
0.50	70.00	7.00	0.50
0.60	84.00	8.40	0.60
0.70	98.00	9.80	0.70
0.80	112.00	11.20	0.80
0.90	126.00	12.60	0.90
1.00	140.00	14.00	1.00

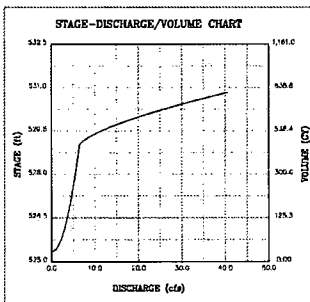
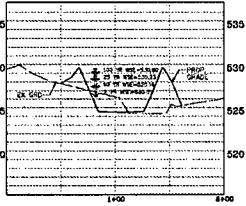
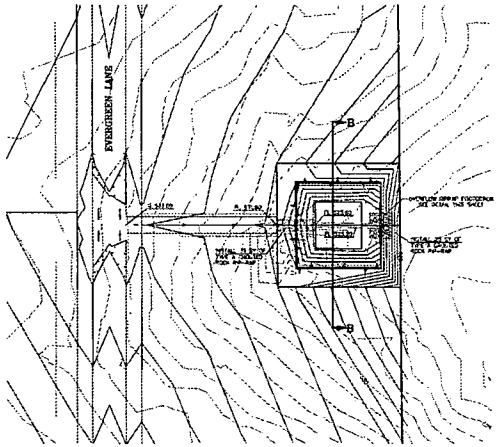
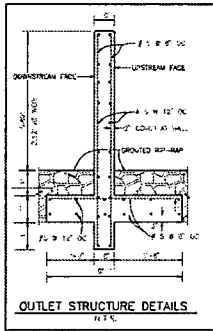
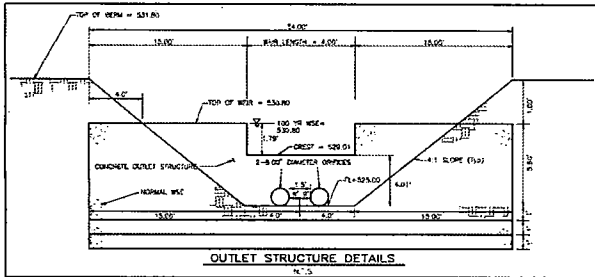
100 YR FULLY DEVELOPED RELEASE CALCULATIONS

DEPTH (FEET)	AREA (SQ FT)	VOLUME (CU FT)	TIME (MIN)
0.00	0.00	0.00	0.00
0.10	14.00	1.40	0.10
0.20	28.00	2.80	0.20
0.30	42.00	4.20	0.30
0.40	56.00	5.60	0.40
0.50	70.00	7.00	0.50
0.60	84.00	8.40	0.60
0.70	98.00	9.80	0.70
0.80	112.00	11.20	0.80
0.90	126.00	12.60	0.90
1.00	140.00	14.00	1.00

25 YR FULLY DEVELOPED RELEASE CALCULATIONS

DEPTH (FEET)	AREA (SQ FT)	VOLUME (CU FT)	TIME (MIN)
0.00	0.00	0.00	0.00
0.10	14.00	1.40	0.10
0.20	28.00	2.80	0.20
0.30	42.00	4.20	0.30
0.40	56.00	5.60	0.40
0.50	70.00	7.00	0.50
0.60	84.00	8.40	0.60
0.70	98.00	9.80	0.70
0.80	112.00	11.20	0.80
0.90	126.00	12.60	0.90
1.00	140.00	14.00	1.00

HICKMAN CONSULTING ENGINEERS, INC.
FARMERSVILLE, TEXAS
DETENTION POND 1
WINDSPRING WINDS
HUNT COUNTY, TEXAS
300 W. WINDSPRING ROAD
HEATH, TEXAS 75845
DATE: 11/17/11
SCALE: AS SHOWN
PROJECT NO: 11-001
SHEET NO: 13
PRELIMINARY - NOT FOR CONSTRUCTION
THIS DOCUMENT IS PREPARED FOR THE PURPOSE OF
INTERIM REVIEW UNDER THE AUTHORITY OF
MRS. B. HICKMAN, P.E., TACON.



VOLUME PROVIDED @ 530.8' = 841.00 CY
 VOLUME REQUIRED @ 100YR = 779.76 CY

100 YR DETENTION CALCULATIONS

DESIGN CONDITIONS

Flow: 100 Yr
 Crest: 520.50
 Slope: 1:1
 Orifice: 3-6"
 Material: Concrete

DESIGNED CONDITIONS

Flow: 100 Yr
 Crest: 520.50
 Slope: 1:1
 Orifice: 3-6"
 Material: Concrete

DESIGNED CONDITIONS

Flow: 100 Yr
 Crest: 520.50
 Slope: 1:1
 Orifice: 3-6"
 Material: Concrete

25 YR DETENTION CALCULATIONS

DESIGN CONDITIONS

Flow: 25 Yr
 Crest: 520.50
 Slope: 1:1
 Orifice: 3-6"
 Material: Concrete

DESIGNED CONDITIONS

Flow: 25 Yr
 Crest: 520.50
 Slope: 1:1
 Orifice: 3-6"
 Material: Concrete

DESIGNED CONDITIONS

Flow: 25 Yr
 Crest: 520.50
 Slope: 1:1
 Orifice: 3-6"
 Material: Concrete

10 YR DETENTION CALCULATIONS

DESIGN CONDITIONS

Flow: 10 Yr
 Crest: 520.50
 Slope: 1:1
 Orifice: 3-6"
 Material: Concrete

DESIGNED CONDITIONS

Flow: 10 Yr
 Crest: 520.50
 Slope: 1:1
 Orifice: 3-6"
 Material: Concrete

DESIGNED CONDITIONS

Flow: 10 Yr
 Crest: 520.50
 Slope: 1:1
 Orifice: 3-6"
 Material: Concrete

5 YR DETENTION CALCULATIONS

DESIGN CONDITIONS

Flow: 5 Yr
 Crest: 520.50
 Slope: 1:1
 Orifice: 3-6"
 Material: Concrete

DESIGNED CONDITIONS

Flow: 5 Yr
 Crest: 520.50
 Slope: 1:1
 Orifice: 3-6"
 Material: Concrete

DESIGNED CONDITIONS

Flow: 5 Yr
 Crest: 520.50
 Slope: 1:1
 Orifice: 3-6"
 Material: Concrete

100 YR FULLY DEVELOPED RELEASE CALCULATIONS

Flow: 100 Yr
 Crest: 520.50
 Slope: 1:1
 Orifice: 3-6"
 Material: Concrete

25 YR FULLY DEVELOPED RELEASE CALCULATIONS

Flow: 25 Yr
 Crest: 520.50
 Slope: 1:1
 Orifice: 3-6"
 Material: Concrete

10 YR FULLY DEVELOPED RELEASE CALCULATIONS

Flow: 10 Yr
 Crest: 520.50
 Slope: 1:1
 Orifice: 3-6"
 Material: Concrete

5 YR FULLY DEVELOPED RELEASE CALCULATIONS

Flow: 5 Yr
 Crest: 520.50
 Slope: 1:1
 Orifice: 3-6"
 Material: Concrete

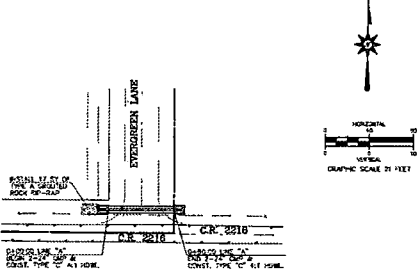
HCE
 Hickman Consulting Engineers, Inc.
 1100 W. UNIVERSITY BLVD., SUITE 100
 FARMERSVILLE, TEXAS 77834
 TEL: 281-335-2200 FAX: 281-335-2201
 WWW.HICKMANENGINEERS.COM

DETENTION POND #2
 WHEATING WOODS
 HUNT COUNTY, TEXAS
 1/4 SECTION 10, T12N, R10E, S10E

DATE: 11/11/11
 DRAWN BY: J. HICKMAN
 CHECKED BY: J. HICKMAN
 PROJECT NO.: 11-001

SCALE: 1" = 10'-0"
 SHEET NO. 14 OF 14

PRELIMINARY - NOT FOR CONSTRUCTION
 THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF
 DESIGN REVIEW UNDER THE AUTHORITY OF
 MARK H. HICKMAN, P.E., 78405



LINE "A"

PRELIMINARY - NOT FOR CONSTRUCTION
 This document is prepared for the purpose of
 REVIEW ONLY under the authority of
 Mark P. Hickman, P.E., TRS.

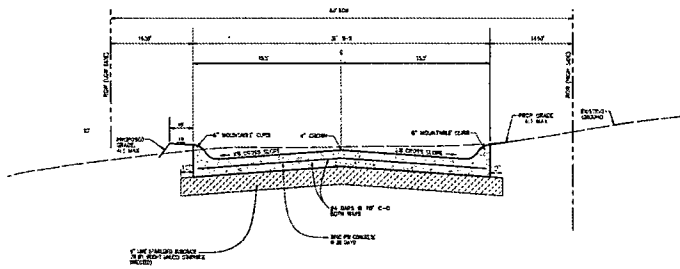
STATION	ELEVATION	DESCRIPTION
540	550	
545	545	
540	540	
535	535	
530	530	
525	525	
520	520	
515	515	
510	510	
505	505	

HCE Hickman Consulting Engineers, Inc.
 1000 W. 10th Street, Suite 100
 Farmersville, Texas 75758
 Phone: 817-253-2222
 Fax: 817-253-2223
 Email: hickman@hickman-engineers.com

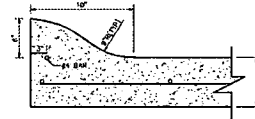
STORM SEWER PLAN & PROFILE
 WHEPBERG WINDS
 HUNT COUNTY, TEXAS
 2015 WINDS ROAD
 WHEPBERG, TEXAS 75783

DATE: 08/15/2015
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 PROJECT NO.: [Number]

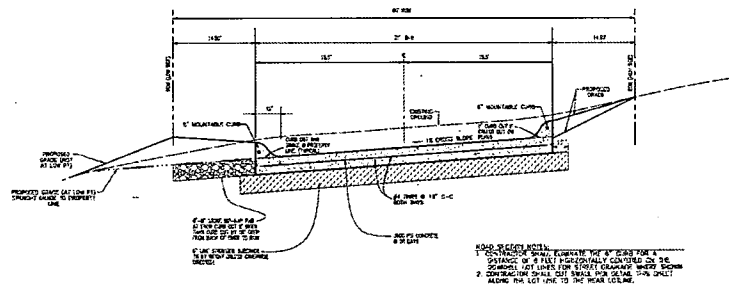
DATE: [Date]
 SHEET NO.: 15



TYPICAL PAVING SECTION (31' B-B)
N.T.S.



TYPICAL MOUNTABLE CURB SECTION
N.T.S.



FULL CROSS SLOPE PAVING SECTION (31' B-B)
N.T.S.

PRELIMINARY - NOT FOR CONSTRUCTION
This document is released for the purpose of
DESIGN REVIEW under the authority of
Mark H. Hickman, P.E. 78409.

Hickman Consulting Engineers, Inc.
1400 West Loop South
Houston, Texas 77027
713.865.8800
www.hickman-engineers.com

PAVING DETAIL SHEET

WHISPERING WINDS
HUNT COUNTY, TEXAS
JOB # 2020-0001
DATE: 08/20/2020

NO.	REVISION	DATE

SCALE: 1" = 4'-0"

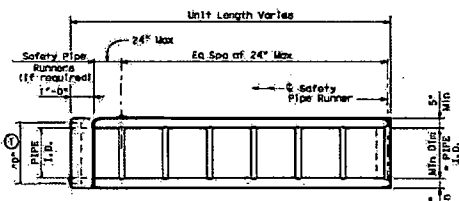
DATE: 08/20/2020

BY: [Signature]

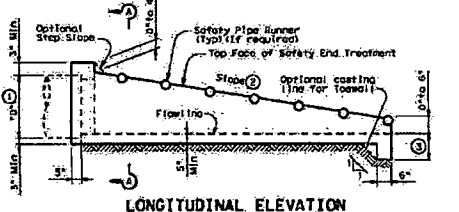
CHECKED: [Signature]

APPROVED: [Signature]

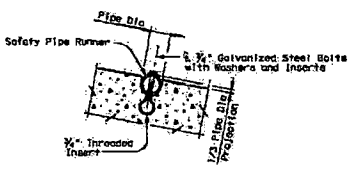
DISCONTINUED
 THIS DRAWING IS OBSOLETE. IT IS NOT TO BE USED FOR CONSTRUCTION. THE LATEST EDITION OF THIS DRAWING IS THE ONLY AUTHORITY FOR THE CORRECT DIMENSIONS AND REQUIREMENTS.



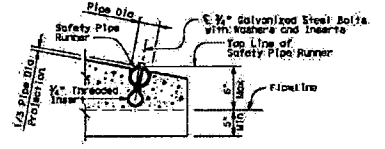
PLAN



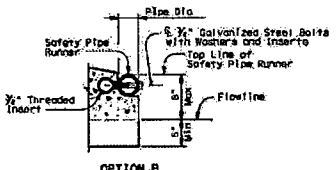
LONGITUDINAL ELEVATION



INSTALLATION DETAIL FOR SAFETY PIPE RUNNERS
(if required)

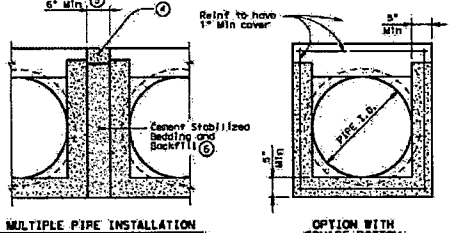


OPTION A



OPTION B

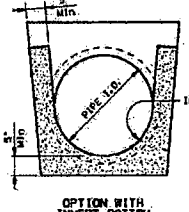
END DETAILS FOR INSTALLATION OF SAFETY PIPE RUNNERS
(if required)



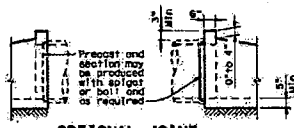
MULTIPLE PIPE INSTALLATION

OPTION WITH SQUARE BOTTOM

SECTION A-A



OPTION WITH INVERT BOTTOM



OPTIONAL JOINT

(Showing joint between RCP and Precast Safety End Treatment)

PIPE I.D.	PIPE WALL THICKNESS	MAXIMUM SLOPE	MINIMUM LENGTH OF UNIT	PIPE RUNNERS REQUIRED		REQUIRED PIPE RUNNER SIZES		
				SINGLE PIPE	MULTIPLE PIPE	NOMINAL DIA.	O.D.	I.D.
12"	2"	17%	6:1	No	Yes for 32 pipes	3" STD	3,500"	3,068"
15"	2 1/2"	20 1/2%	6:1	No	Yes for 32 pipes	3" STD	3,500"	3,068"
18"	2 1/2"	24%	6:1	No	Yes for 32 pipes	3" STD	3,500"	3,068"
24"	3"	31%	6:1	No	Yes for 32 pipes	3" STD	3,500"	3,068"
30"	3 1/2"	38 1/2%	6:1	No	Yes	4" STD	4,500"	4,028"
36"	4"	45 1/2%	6:1	Yes	Yes	4" STD	4,500"	4,028"
42"	4 1/2"	52 1/2%	6:1	Yes	Yes	4" STD	4,500"	4,028"

- Dimension "B" is based on ASTM C-76, Class III; wall "B" thickness. If any other wall thickness is used, dimension "B" must be adjusted accordingly.
- Slope as shown elsewhere in the plans. Slope of 6:1 or flatter is required for vehicle safety.
- Toewall to be used only when dimension "B" is shown elsewhere in the plans.
- The top 4" of void between Precast End Treatment shall be filled with concrete riprap and shall be considered subsidiary to Safety End Treatment.
- Clear distance between pipes shall be adjusted to provide for the minimum distance between pipes and treatments.
- Cement stabilized bedding and backfill shall be in accordance with the Item, Excavation and Backfill for Structures. Bedding and backfill shall be considered subsidiary to the Item, Safety End Treatment. When concrete riprap is specified around the safety end treatment, backfill shall be as directed by Engineer.

GENERAL NOTES:
 Precast safety end treatment for reinforced concrete pipe may be used for TYPE II end treatment as specified in Item "Safety End Treatment". When Precast Safety End Treatment is used as a Contractor's alternate to mixed-RCP, Riprap will not be required unless noted otherwise on the plans.
 Synthetic fibers listed on the "Fibers for Concrete" Material Producer List (MPL) may be used in lieu of steel reinforcing in riprap concrete unless noted otherwise.
 Manufacture of this product shall conform to requirements of Item "Safety End Treatment" except as noted below:
 A. Minimum reinforcing shall be #4 @ 6" (Grade 40) or #4 @ 8" (Grade 60), each way or 5 x 5 - #12 x #12 or 5 x 5 - #10 x #10 welded wire fabric.
 B. Concrete for precast (steel formed) sections shall be Class "C" with a minimum compressive strength of 3500 psi.
 At the option and expense of the Contractor the next larger size of Safety End Treatment may be furnished as long as the "B" dimension meets in fact of the required size of pipe.
 Pipe Runners are designed for a covering load of 10,000 lbs. or yield as recommended by Research Report 289-2P, "Safety Treatment of Roadside Parallel-Drainage Structures", Texas Transportation Institute, March 1981. Pipe Runners shall conform to the requirements of ASTM A53 Type E or S, Grade B1, ASTM A500 (Grade B), or API 5LX52.
 All steel components except reinforcing, shall be galvanized after fabrication. Galvanizing damaged during transport or construction shall be repaired in accordance with the specifications.

Texas Department of Transportation
Traffic Division

PRECAST SAFETY END TREATMENT
TYPE II - PARALLEL DRAINAGE

PSET-SP

DATE: 02/28/00	BY: RLB	CHK: JLR	APP: JLR	APP: JLR
DATE: 02/28/00	BY: RLB	CHK: JLR	APP: JLR	APP: JLR
DATE: 02/28/00	BY: RLB	CHK: JLR	APP: JLR	APP: JLR

SSNS REALTY, INC.
52.269 ACRES
DOC. # 2019-00992
D.R.H.C.T.

HECTOR ALVIZU
& EDGAR E. NAVARRO
7.31 ACRES
VOL. 1566, PG. 19
D.R.H.C.T.

BRODLEY C. BRINSON
7.31 ACRES
VOL. 2011-2784
D.R.H.C.T.

LANE CROFTON
TRACT ONE
7.31 ACRES
VOL. 2011-2784
D.R.H.C.T.

JIMMY & PATRICIA BLUNT
15.00 ACRES
VOL. 963, PG. 844
D.R.H.C.T.

JIMMY BLUNT
15.00 ACRES
VOL. 965, PG. R21
D.R.H.C.T.

S00°26'16"E 2144.22'

EVERGREEN LANE (60' R.O.W.)

N00°04'44"E 1968.96'

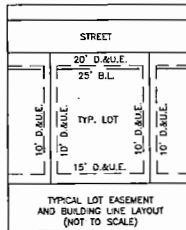
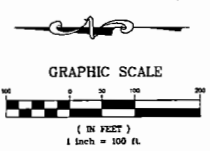
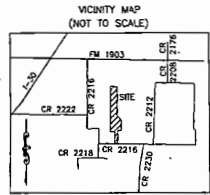
N00°04'44"E 2092.14'

N89°33'44"E 509.66'

1" P.M.K. IND.

SC.I.P.F.

5/8" I.P.F.



LEGEND

- D.E. - DRAINAGE EASEMENT
- D.&U.E. - DRAINAGE & UTILITY EASEMENT
- B.L. - BUILDING LINE
- I.P.F. - IRON PIN FOUND
- R.C.I.P.F. - 1/2" IRON PIN FOUND WITH RED CAP STAMPED "OWENS RPLS 5397"
- D.R.H.C.T. - DEED RECORDS, HUNT COUNTY, TEXAS
- P.R.H.C.T. - PLAT RECORDS, HUNT COUNTY, TEXAS
- OSSF - ON SITE SEWAGE FACILITY ZONE

FINAL PLAT
WHISPERING WINDS
52.286 ACRES OF LAND
A. LAWSON SURVEY, ABSTRACT NO. 611
HUNT COUNTY, TEXAS

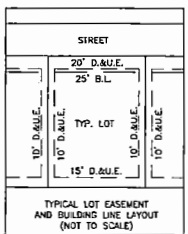
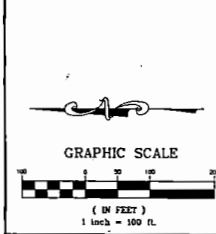
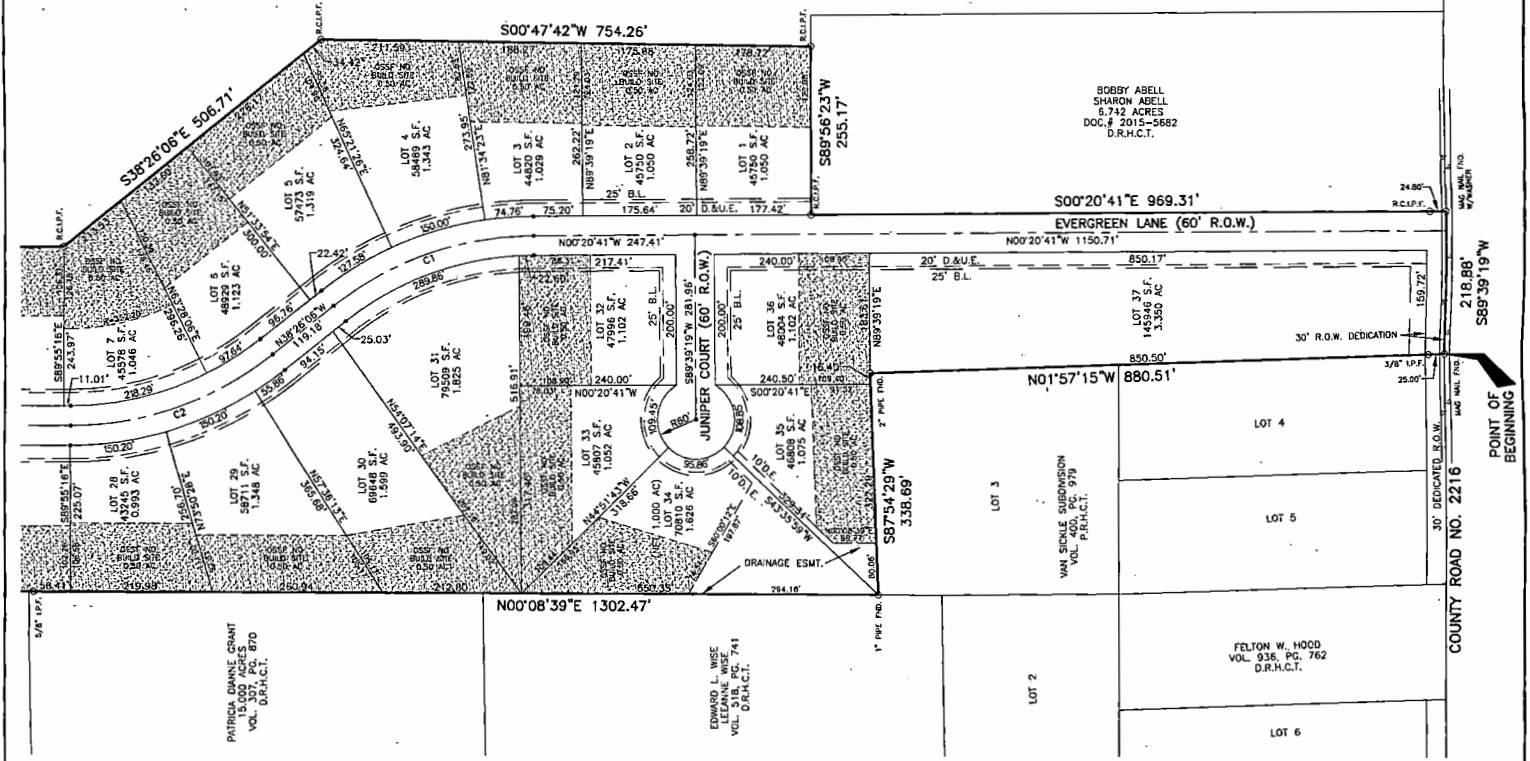
PAGE 1 OF 3

CARROLL CONSULTING GROUP, INC.
P.O. BOX 11, LAWON, TEXAS 75166 (972) 742-4411
TEXAS FIRM REGISTRATION NO.: 10007200

OWNER: PAMELA BOWEN STANLEY 30 W. 96TH ST #1A NEW YORK, NY 10025	JOB No.	SCALE:	DATE	DRAWN BY:
	2485-18	1"=100'	MARCH 4, 2019	CP

Curve #	Length	Radius	Delta	CHORD
C1	332.40	500.00'	38°05'25"	N19°23'23"W, 326.31'
C2	336.10	500.00'	38°30'50"	N19°10'41"W, 329.81'

SSNS REALTY, INC.
52.259 ACRES
DOC.# 2019-00992
D.R.H.C.T.



- LEGEND**
- D.E. - DRAINAGE EASEMENT
 - D.&U.E. - DRAINAGE & UTILITY EASEMENT
 - B.L. - BUILDING LINE
 - I.P.F. - IRON PIN FOUND
 - R.C.I.P.F. - 1/2" IRON PIN FOUND WITH RED CAP STAMPED "OWENS RPLS 5387"
 - D.R.H.C.T. - DEED RECORDS, HUNT COUNTY, TEXAS
 - P.R.H.C.T. - PLAT RECORDS, HUNT COUNTY, TEXAS
 - OSF - ON SITE SEWAGE FACILITY ZONE

OWNER:
PAMELA BOWEN STANLEY
30 W. 96TH ST #1A
NEW YORK, NY 10025

FINAL PLAT
WHISPERING WINDS
52.286 ACRES OF LAND
A. LAWSON SURVEY, ABSTRACT NO. 611
HUNT COUNTY, TEXAS

PAGE 2 OF 3

CARROLL CONSULTING GROUP, INC.
P.O. BOX 11, LAVON, TEXAS 75166 (972) 742-4411
TEXAS FIRM REGISTRATION NO.: 10007200

JOB No.	SCALE:	DATE	DRAWN BY:
2485-18	1"=100'	MARCH 4, 2019	CP

STATE OF TEXAS
COUNTY OF HUNT

OWNER'S CERTIFICATE

Whereas, Pamela Bowen Stanley is the owner of a tract of land situated in the A. Lawson Survey, Abstract No. 611, Hunt County, Texas, and being the same called 52,269 acre tract of land conveyed to Pamela Bowen Stanley by deed recorded in Document No. 2018-03557, Deed Records, Hunt County, Texas, and being more particularly described as follows:

Beginning at a mag nail found in the center of County Road No. 2216, for the southeast corner of said 52,269 acre tract and the southeast corner of Van Sickle Subdivision, an addition to Hunt County, Texas, according to the plat thereof recorded in Volume 400, Page 979, Plat Records, Hunt County, Texas;

Thence, North 01°37'15" West, along a west line of said 52,269 acre tract and the east line of said Van Sickle Subdivision, at a distance of 25,000 feet passing a 3/8" iron pin found at fence corner and continuing for a total distance of 380.51 feet to a 2" pipe found for the northeast corner of said Van Sickle Subdivision and a re-entrant corner of said 52,269 acre tract;

Thence, South 87°54'29" West, along a south line of said 52,269 acre tract and the north line of said Van Sickle Subdivision, at a distance of 338.69 feet to a 1" pipe found for the most westerly southwest corner of said 52,269 acre tract and a northwest corner of said Van Sickle Subdivision and being on the east line of a tract of land conveyed to Edward L. Wise and Leonne Wise by deed recorded in Volume 518, Page 741, Deed Records, Hunt County, Texas;

Thence, North 00°08'39" East, along the west line of said 52,269 acre tract and the east line of said Wise tract, at a distance of 609.40 feet passing a 3/8" iron pin found and continuing along the west line of said 52,269 acre tract and the west line of a 15,000 acre tract of land conveyed to Patricia Dianne Grant by deed recorded in Volume 307, Page 870, Deed Records, Hunt County, Texas, for a total distance of 1,302.47 feet to a 5/8" iron pin found for corner;

Thence, North 00°16'44" East, along the west line of said 52,269 acre tract, the east line of said Blunt tract and the east line of a 15,000 acre tract of land conveyed to Jimmy and Patricia Blunt by deed recorded in Volume 583, Page 844, Deed Records, Hunt County, Texas, at a distance of 1400.35 feet passing a 3/8" iron pin found and continuing along the west line of said 52,269 acre tract and the east line of a 7.31 acre tract of land conveyed to Lane Cranton by deed recorded in Volume 850, Page 545, Deed Records, Hunt County, Texas, for a total distance of 2,092.14 feet to a 1" pipe found for the northeast corner of said 52,269 acre tract, the northeast corner of said 7.31 acre tract and being on the south line of a 29,827 acre tract of land conveyed to Bradley G. Pierson by deed recorded in Document No. 2011-2784, Deed Records, Hunt County, Texas;

Thence, North 89°35'44" East, along the north line of said 52,269 acre tract, the south line of said 29,827 acre tract and the south line of a 28.12 acre tract of land conveyed to Hector Abiza and Edgar E. Novairo by deed recorded in Volume 1569, Page 19, Deed Records, Hunt County, Texas, at a distance of 252.02 feet a 1/2" capped iron pin found stamped "SIGNAL" and continuing for a total distance of 509.66 feet to a 1/2" iron pin found with red cap stamped "OWENS RPLS 5387" for the northeast corner of said 52,269 acre tract and the northwest corner of a 52,269 acre tract of land conveyed to SSKS Realty, Inc. by deed recorded in Document No. 2019-00992, Deed Records, Hunt County, Texas;

Thence, South 00°26'16" East, along the east line of said Stanley tract and the west line of said Abel tract, a distance of 2,144.22 feet to a 1/2" iron pin found with red cap stamped "OWENS RPLS 5387" for corner;

Thence, South 38°26'09" East, along the east line of said Stanley tract and the west line of said Abel tract, a distance of 506.31 feet to a 1/2" iron pin found with red cap stamped "OWENS RPLS 5387" for corner;

Thence, South 00°47'42" West, along the east line of said Stanley tract and the west line of said Abel tract, a distance of 754.26 feet to a 1/2" iron pin found with red cap stamped "OWENS RPLS 5387" for the most easterly southeast corner of said Stanley tract and a southwest corner of said Abel tract and being on the north line of a 6,742 acre tract of land conveyed to Bobby Abel and Sharon Abel by deed recorded in Document No. 2015-5682, Deed Records, Hunt County, Texas;

Thence, South 87°56'23" West, along a south line of said Stanley tract and the north line of said 6,742 acre tract, a distance of 255.17 feet to a 1/2" iron pin found with red cap stamped "OWENS RPLS 5387" for a re-entrant corner of said Stanley tract and the northeast corner of said 6,742 acre tract;

Thence, South 00°20'41" East, along an east line of said Stanley tract and the west line of said 6,742 acre tract, at a distance of 844.51 feet a 1/2" iron pin found with red cap stamped "OWENS RPLS 5387" for reference and for a total distance of 999.31 feet to a mag nail found with washer in center of County Road No. 2216 for the southeast corner of said Stanley tract and the southwest corner of said 6,742 acre tract;

Thence, South 87°30'19" West, along the south line of said Stanley tract and the center of County Road No. 2216, a distance of 218.88 feet to the Point of Beginning and containing 2,277,583 square feet or 52,286 acres of land.

NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

That, Pamela Bowen Stanley, does hereby adopt this plat as WHISPERING WINDS in addition to Hunt County, Texas and dedicating to the public use forever the roads and easements shown hereon for the mutual use and accommodation of any public utility desiring to use or using same for the purpose of construction, maintaining, adding to or removing any or all of their respective systems located therein.

WITNESS, my hand, this _____ day of _____, 2019.

By: Pamela Bowen Stanley, Owner

STATE OF TEXAS
COUNTY OF HUNT

Before me, the undersigned authority, on this day personally appeared Pamela Bowen Stanley, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration and under the authority therein expressed.

GIVEN under my hand and seal of office this _____ day of _____, 2019.

Notary Public for and in the State of Texas
My commission expires:

SURVEYOR'S CERTIFICATE

STATE OF TEXAS

I, James Bart Carroll, Registered Public Surveyor, hereby certify that I have prepared this plat from an actual on-the-ground survey of the land and that the corner monuments shown thereon were properly placed under my personal supervision in accordance with the plotting rules and regulations of Hunt County, Texas.

James Bart Carroll
Texas Registered Professional Land Surveyor No. 5129

NOTARY CERTIFICATE

STATE OF TEXAS
COUNTY OF COLLIN

Before me, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared James Bart Carroll, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he/she executed the same in the capacity therein stated.

GIVEN under my hand and seal of office, this _____ day of _____, 2019.

Notary Public in and for the State of Texas.
My commission expires:

STATE OF TEXAS
COUNTY OF HUNT

KNOW ALL MEN BY THESE PRESENTS:

I, _____ County Judge of Hunt County, Texas, do hereby certify that this final plat, with field notes hereon, having been fully presented to the Commissioner Court of Hunt County, Texas, and by the said Court duly considered, was on this day approved and the plat is authorized to be registered and recorded in the proper records of the County Clerk of Hunt County, Texas.

County Judge, Hunt County, Texas	Date	County Commissioner Precinct 3	Date
		Philip Martin	
County Commissioner Precinct 1	Date	County Commissioner Precinct 4	Date
Eric Evans		Steven M. Harrison	
County Commissioner Precinct 2	Date	Health Department	Date
Randy Strub			

FLOOD NOTE:

1. According to my interpretations of Community Panel No. 48231003756, dated January 6, 2012, of the National Flood Insurance Rate Maps for Hunt County, Texas, the subject property lies within Zone "X" and is not shown to be within a special flood hazard area. This statement does not imply that the property and/or structures thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This flood statement shall not create liability on the part of the surveyor.
2. Bookings based on the east line of deed recorded in Document No. 2018-03557, Deed Records, Hunt County, Texas. (50028'16")
3. On-Site Sewage Facilities (OSSF) shall be licensed by Hunt County and installed prior to occupancy.
4. Development and OSSF permits are required prior to construction of any improvements on the property.
5. No more than one (1) single family detached dwelling shall be located on any lot.
6. An adequate potable water supply will be immediately available to each lot in the subdivision.
7. Water service provider: Cash SUD
8. Electric service provider: Farmers Electric Cooperative
9. Blocking the flow of water or construction improvements in drainage easements, and filling or obstruction of the roadway is prohibited; and, The existing erosion or drainage channels traversing along or across the subdivided tracts will remain on open channels, and will be maintained by the individual owners of the lot or lots that are traversed by or adjacent to the creeks or drainage channels; and, Hunt County will not be responsible for the maintenance and operation of drainage ways for the control of erosion located on private property; and, Hunt County will not be responsible for any property damage, property loss, personal injury, or loss of life by flooding or flooding conditions.
10. All surface drainage easements shall be kept clear of fences, buildings, foundations and planting, and other obstructions to the operation and maintenance of the drainage facility.
11. Construction not completed within two (2) years of the recording date shall be subject to the then current county standards and regulations. The County may require the subdivision to be re-platted.
12. There shall be a 20' utility easement along the road frontage and a 15' drainage and utility easement along the rear of all lots, and a 10' drainage and utility easement along the side lines of all lots, see detail.
13. On-site sewage facility zone (OSSFZ) - zone identified for OSSF system. This area is to meet TCEQ OSSF IAC Chapter 285, Table 10 separation distances. Shall not contain floorplans, structures or any other barriers that would hinder or prohibit proper function of the system. This zone shall be identified of the time of lots on-site sewage permit.

Certificate of Acceptance of Dedication

The undersigned, the County Clerk of Hunt County, Texas, does hereby certify that on the _____ day of _____, 2019, all the owners of real property described above did execute and deliver unto the Hunt County Commissioners Court their dedication of all streets, alleys, parks, easements, and other public areas to the public, a copy of which is affixed to the face of this plat; and the Hunt County Commissioners Court did, by appropriate minute order, accept the dedication of all streets, alleys, parks, easements, and other public areas on behalf of the public.

Certified this _____ day of _____, 2019.

County Clerk
Hunt County, Texas

Certificate of Compliance

The undersigned, the County Clerk of Hunt County, Texas, does hereby certify that on the _____ day of _____, 2019, the Hunt County Commissioners Court, by appropriate minute order, did find that this final plat is in compliance with applicable State and County subdivision regulations, and did approve the same for filing in the plat records of Hunt County, Texas.

Certified the _____ day of _____, 2019.

County Clerk
Hunt County, Texas

FINAL PLAT

WHISPERING WINDS
52,286 ACRES OF LAND
A. LAWSON SURVEY, ABSTRACT NO. 611
HUNT COUNTY, TEXAS

CARROLL CONSULTING GROUP, INC.			
P.O. BOX 11, LAWON, TEXAS 75166 (972) 742-4411			
TEXAS FIRM REGISTRATION NO.: 10007200			
JOB No.	SCALE:	DATE	DRAWN BY:
2485-18	1"=100'	MARCH 4, 2019	CP

OWNER:
PAMELA BOWEN STANLEY
30 W. 96TH ST #1A
NEW YORK, NY 10025